



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Mark Brodeur, Director of Community & Economic Development Department

MEETING DATE: July 11, 2018

ADDRESS: 157 Grand Avenue, located on the southern side of Central Ave between Grand Avenue and Fountain Avenue

APN: 006-173-002

SUBJECT: Call Up of Architectural Permit and Use Permit Application No. AP/UP 16-203 to allow the demolition of the existing single-story building and to build a 120- room, four-story hotel. The project proposes a total gross floor area of 82,936 square feet on a 0.77 acre lot pursuant to PGMC §23.31.020

APPLICANT: Randy Russom, Architect, RRM Design Group on behalf of Nader Agha, owner

GENERAL PLAN LAND USE: Commercial Downtown

ZONING: C-1-T Light Commercial/Hotel District

CEQA: Environmental Impact Report

RECOMMENDATION

Conduct a de novo hearing and (1) certify the accompanying EIR and direct the posting of the Notice of Determination and (2) adopt the attached Resolution that affirms the Planning Commission's approval and conditions for AP/UP 16-203 pursuant to PGMC 23.70.060(c) (1).

DE NOVO HEARING & FINDINGS TO BE MADE

The City Council may affirm, affirm in part, or reverse the action of the Planning Commission that is the subject of this call-up, based upon findings of fact about the particular case. Those Findings are listed here for consideration by the Council in making their recommendation on this project call up. The Council is reminded that its findings must be supported by substantial evidence, and the better practice is to refer to the evidence that supports each of the proposed findings.

(A) The Council has reviewed the EIR and in its independent judgment finds that the EIR is adequate; The final EIR has been completed in compliance with CEQA; The final EIR was presented to the City Council, and the Council has reviewed and considered the information contained in the final EIR prior to approving the project; The final EIR reflects the Council's independent judgment and analysis; and the custodian for these documents shall be the City Clerk at 300 Forest Avenue, Pacific Grove, California 93950

(B) The proposed use is allowed with a use permit within the applicable zoning district and complies with all applicable provisions of these regulations;

(C) The proposed use is consistent with the general plan and any applicable specific plan;

(D) The establishment, maintenance, or operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;

(E) The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city; and

(F) The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.

When reviewing the Planning Commission decision on the subject Use Permit, the Council may amend or adopt additional conditions of approval that may address other issues or concerns than the subject of the appeal or call-up.

PROJECT DESCRIPTION

The proposed project is located on the southerly side of Central Ave. between Grand Ave. and Fountain Ave. Architectural Permit and Use Permit Application No. AP/UP 16-203, also referred to as Hotel Durell, proposes to demolish an existing 17,500 square foot building and 26 space asphalt parking lot, and build a 120-room hotel with subsurface and off-site parking. Uses within the existing building include restaurant and retail uses. The subject site is not located in the City's coastal zone. The project proposes guest rooms to range in size from 320 to 400 square feet. In addition to a soaking spa, the project includes a landscaped courtyard area, meeting rooms, restaurant, central vending area on each floor, valet parking, lobby with reservation desk, guest luggage/storage and an exercise gym. Vehicular access would be provided from a Central Avenue entrance and exit onto Fountain Avenue. A Use Permit is required pursuant to PGMC Table 23.31.030 End Note 8. An Architectural Permit is also required for any new construction pursuant to PGMC 23.70.060 (c) (1). Additional off-site parking is proposed to be provided on a surface parking lot located at Fountain Ave. and Ricketts Row.

BACKGROUND

On March 14, 2016, Randall Russom, architect with RRM Design Group applied for an Architectural Permit and a Use Permit on behalf of Nader Agha, owner, for a property located at 157 Grand Avenue and 158 Fountain Avenue.

The site is designated *Commercial* in the General Plan and zoned *C-1-T* which allows for a variety of uses including hotels, commercial retail, restaurants and on-site parking. The *C-1-T Light Commercial and Hotel* zoning district was created through an approval of Ordinance 1951 by a public vote of Pacific Grove citizens on June 7, 1994.

The site is located in a Parking District created in 1962 which was established by Resolution 4272 for public convenience and necessity and serves the downtown commercial area.

The existing single-story 17,500 square foot building, referred to as the Holman garage, was determined to not be historic. A qualified historian, Richard Brandi completed an amended Phase 1 Historic Report on October 5, 2012. The report determined the structure to be ineligible for the Pacific Grove HRI, the California Register of Historical Resources, and the National Register of Historic Places. On October 15, 2015, the City Council passed and adopted Resolution 15-056 which concluded the Holman garage building to not be historic.

SURROUNDING LAND USES AND SETTING

The project site is located in the City's commercial downtown and is surrounded by the Pacific Grove Museum of Natural History to the west, Jewell Park to the northwest, the Holman Building on the south and the Pacific Grove Library to the north. Commercial buildings are located on the east side of the project site.

DISCUSSION

General Plan Goals and Policies

The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and policies that call for the orderly, well-planned, and balanced development consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and ability to assimilate new growth.

The subject site is designated *Commercial* in the City's General Plan. Specific General Plan Land Use Policies relevant to the proposed project include the following:

Chapter 2 - Land Use

Policy 2: Ensure that new development is compatible with adjacent existing development.

Policy 3: Balance a property owner's ability to develop with the desirability of maintaining neighborhood character.

Program T: Provide for expanded uses for the former Holman's block such as mixed commercial/residential use and /or transient visitor services (*i.e.* hotel/restaurant/shops).

Policy 12: Promote and maintain a healthy local economy while preserving the local community character.

Policy 14: Promote Pacific Grove businesses and industries.

Policy 16: Attract and retain a variety of businesses and services in the community and perhaps the most prolific policy.

Policy 18: Support hotel development in the former Holman’s Block of the downtown, as allowed by adoption of an initiative measure by city voters in June 1994”

“The City took the lead in proposing a successful ballot measure allowing hotel and condominium development on the former Holman’s block. This change is intended to attract development of and investment in the Holman’s anchor block (bounded by Lighthouse, Fountain, Central and Grand Avenues) that will increase city revenue while maintaining the character of the Downtown and the city.”(Pacific Grove General Plan, page 19)

The proposed hotel will add another key attraction to retain and draw visitors to Pacific Grove. This translates into additional business for local restaurants and stores, and overnight stays for motels and hotels. The subject proposal supports the General Plan policies and programs.

Floor Area Ratio

The voter approved zoning initiative for the *C-1-T Light Commercial and Hotel* zoning district is silent regarding Floor Area Ratio (FAR) and did not impose additional restrictions or guidance on this matter.

The General Plan Section 2.15.3 *Commercial Downtown* land use designation states “the combined floor area ratio for commercial and office uses **should** (emphasis added) not exceed 2.0. However, a bonus of up to 0.3 FAR may be granted for specific upper floor uses that further the goals of the General Plan.” The total recommended by the General Plan is 2.3 for the site; however, the FAR is a suggestion, not mandatory. The use of the word “should” versus “shall” allows the City leeway to determine what is an appropriate FAR for any given site given the site’s context and supporting General Plan policies. Program T and Policy 18 specifically encourage a hotel use on this site, and policies 2, 3, 12, 14 and 16 are supportive of a hotel use.

The project proposes an FAR of approximately 2.5. A hotel in downtown is permitted and encouraged by the City’s General Plan and Zoning Ordinance. A hotel is a complimentary component of an economically viable downtown and fills a gap in the city’s visitor-accommodation offerings. This is the only site in downtown that permits a hotel to be built upon it and one of only two sites in the entire City where hotel use is supported. That allowance of use was voted upon by the voters of Pacific Grove. Additionally, research reveals that this location was the site of a previous hotel. The El Carmelo Hotel (later named the Pacific Grove Hotel) was three stories high with an additional attic space and contained 114 rooms.

Pacific Grove’s downtown depends on pedestrian traffic to be successful. Having a hotel in downtown immediately injects a number of potential customers who will walk to local restaurants and shops. A review of any successful downtown in California shows that in almost every case, the downtown contains a hotel and residential mixed uses. The commonality with all of those uses is the ability of people to walk to downtown businesses for their needs. Downtowns consisting of only commercial uses and lacking other uses such as residential and transient visitor services like hotels do not generally thrive economically.

If a hotel is located in walking distance from where people can eat, shop, and be entertained, the positive economic and traffic impact to the downtown can be greater than a hotel that is driving distance to the downtown as is the case with most of our small hotels located in the *R-3-M* zoning district which allows a variety of residential uses in addition to motels and hotels.

Given these reasons, a proposed FAR of 2.5, an additional 6,775 square feet, is recommended.

Land Use and Zoning Code Regulations

The City of Pacific Grove Zoning Code designates the parcel as *Light Commercial/Hotel/Condominium (C-1-T)*. The *C-1-T* zoning district was enacted by citizen initiative approved in 1994. The intent of the *C-1-T* district as described by the initiative is as follows:

It is the intent of the people of the city of Pacific Grove in enacting the ordinance codified in this chapter to establish a zone district in the City's downtown area where hotel use is permitted, as are all other uses listed in the C-1 district of this code, as said district may be from time to time amended by the council. The people have determined that the area of downtown defined by subsection (b) (2) of this section is appropriate for hotel development. Further, except as modified by this chapter, all provisions of the motel/hotel ballot measure enacted by the people at the June 3, 1986, special municipal election, as set out in Chapter 23.52 PGMC, shall remain unchanged and in full force and effect.

The proposed hotel project conforms to the required 40 foot height, the proposed setbacks meet the zoning district requirements and the site coverage maximum is not exceeded.

Concurrent Permit Processing

The proposed project is subject to both an Architectural Permit and Use Permit. Per S. 23.72.020, the Zoning Code permits concurrent permit processing to allow for a clear permitting and decision making path. While this section of the Code permits the Chief Planner (Director) to determine that all applications be approved or disapproved by the highest-level review authority, the Chief Planner (Director) chose not to permit the Planning Commission to be the only review body. The project was brought before a variety of committees and boards, as discussed below, and the Architectural Review Board provided a recommendation to the Planning Commission in conformance with S. 23.72.020.

PUBLIC MEETINGS AND HEARINGS

A variety of public meetings and hearings on the proposal have been heard to date and are listed and described below. Each public hearing was noticed in conformance with S. 23.86 of the Zoning Code and abides by the Council Policy for Staking and Story Poles. Item G of the Staking and Story Poles policy permits the CEDD Director to seek relief from the requirements and direct use of effective alternatives. In consultation with the Chief Building Official, the Director determined the use of story poles and netting in a downtown pedestrian oriented urban location next to an active construction site, located immediately adjacent at the Holman Building, would pose a safety hazard. The project applicant was

directed instead to provide in addition to on-site posting, 300 foot mailing of notices, a newspaper publication and photomontages.

Additionally, the Final Environmental Impact Report (EIR) was noticed in conformance with S. 23.77 of the Zoning Code and is also posted on the City's CEQA website. Hard copies are available at the CEDD City Hall office or the Library.

An EIR Scoping Meeting was held on April 4, 2017 at the Community Center where after a short presentation, comments were received from the public.

Site Plan Review Committee

A Site Plan Review Committee meeting was held on January 11, 2017 with the CEDD Director, the Public Works Director, the Building Official, the City Engineer and the Environmental Program Manager for their input on the project. The Site Plan Review Committee placed several conditions related to waste water, parking, sanitary sewer and new storm water requirements.

Other Boards and Commissions

The project was presented to the Business Improvement District Board and the Economic Development Commission. Both bodies endorsed the project without reservation.

Architectural Review Board

The Architectural Review Board (ARB) was established by the City to review structures in order to promote the orderly and harmonious development of the City, and to protect its architectural character. The proposed development meets the development standards for the *C-1-T Light Commercial and Hotel* zone. The City currently has no Commercial or Downtown Design Guidelines. The proposed design is in keeping within the eclectic small (under 40 feet) scale architecture found in the downtown. The proposed hotel appeared before the ARB on two separate and distinct occasions to get informal feedback on the design of the hotel.

The ARB made a formal recommendation (third meeting) on this item at the March 27, 2018 meeting and voted to recommend approval of the project to the Planning Commission 6-0-1 (Edmonds absent) with the following condition:

Reduce the massing of the design on Fountain, Grand and Central Ave. and reduce the number of rooms but retain the same number of proposed parking spaces.

Planning Commission

The Planning Commission (PC) heard this item, including the recommendation of the ARB, at the April 5, 2018 PC meeting and made a motion to continue the item to the April 19, 2018 meeting. The applicant requested to cancel this item before the April 19, 2018 Planning Commission meeting in order to afford more time to update the plans to reflect the ARB's recommendation. At the May 17, 2018 meeting the Planning Commission voted 5-0-2 (Bluhm and Murphy absent) to certify the EIR and voted 4-1-2 (Aeschlimann opposed, Bluhm and Murphy absent) to approve the project subject to conditions.

On June 6, 2018 the Council elected to Call Up the AP/UP 16-203 per Municipal Code Section 23.74.

Many issues were raised over the course of the various public meetings including architecture, parking, guest access and arrival location and the Farmer's Market which are discussed below. The applicant has recently indicated a willingness to consider changes to the project based on Council direction.

ISSUES

Architecture

In 2016, the architect and applicant contacted the Community & Economic Development Department asking if they could arrange a conceptual design review of a hotel proposal for the lower Holman site. The draft proposal was placed on the ARB Agenda under “Conceptual Design Review”. The first design was not particularly well-received by members of the ARB. Comments suggested the architects design was too “southern California Beachy” and that the architects needed to walk around downtown and photograph the character defining details of many prominent structures.

Months later, the architects returned to the ARB with a very different look. The revised architectural style of architecture had more of a Victorian appearance, with many Victorian character-defining-elements applied to the original site and floor plans. They illustrated their conformance by including a page of photographs from existing downtown buildings and how parts of their revised architectural design responded to ARB direction.

The proposed project architecture reflects the Victorian flavor of the City, particularly the Retreat and Downtown. Many large three-story Victorian structures are sprinkled throughout the City and the proposed hotel design makes an effort to integrate key characteristics like turrets, exterior balconies, double hung windows, horizontal siding and a variety of bay windows.

At a subsequent (third) ARB meeting the direction to the Planning Commission was to approve the project but to reduce the bulk and mass. The architectural team responded by deleting the pool and replacing it with a central courtyard, reduced mass at the side property lines and slightly reduced the upper floor footprint to accommodate a reduction in the number of rooms from 125 to 120. That is the design that was ultimately presented to the Planning Commission at their final hearing.

The applicant has demonstrated a willingness to consider modifying the architecture to a more classic hotel design. The applicant is also willing to consider reducing the number of hotel rooms.

Parking

The proposed hotel would include 120 rooms with a 2,475 square feet ground level restaurant. Based on the City’s hotel parking requirements of 1 space per 4 rooms or 0.25 spaces per room, a total of 30 spaces are required. The project proposes to provide a total of 97 spaces or a ratio of 0.8 spaces per room, more than triple the number of spaces required by the Zoning Code. Fifty-five subterranean spaces are proposed and an additional 42 off-site spaces, located on an adjacent surface parking at Fountain Avenue and Ricketts Row. Car "lifts" will be provided on half (14) of the 28 parking spaces in the off-site lot. All spaces are proposed to be valet parking.

Legal documentation in the form of a deed restriction or equivalent document requiring the Fountain Parking Lot will remain a parking lot for the use of the hotel until it ceases to be a hotel is included as a condition of approval.

Additionally the project site is located in the Commercial Downtown Parking District that was established over 55 years ago by Ordinance No. 381 N.S. The district created several municipal parking lots so that the downtown could remain an urban, pedestrian-friendly environment. The parking required for any commercial structure in downtown is subject to Planning Commission approval. Historically, the Commission has not required buildings in the Parking District to provide off street parking for their first floor. As such, no additional parking for the hotel's restaurant and other appurtenant uses was required by the Commission.

A current condition of approval requires hotel employee parking to be restricted to the Lighthouse Theatre Municipal Parking Lot. The applicant has recently shown a willingness to agree to a condition making all valet parking free of charge and to direct employees to park in the Fountain Lot when spaces are available. Transit stops are located in very close proximity and the hotel will provide on-site bicycle parking for patrons and visitors.

Access and Guest Arrival Location

The arrival entry driveway and hotel lobby are proposed to be located off Central Avenue exiting the site onto Fountain Avenue. Short term arrival, departure and luggage loading vehicle parking spaces to accommodate up to six arriving/departing vehicles are provided. This access area was evaluated and approved by the City's traffic engineer and Traffic and Safety Committee. As a condition of approval, the hotel agrees to close the Central Avenue vehicular entry during hours when the Farmers Market is active.

Because the project will increase pedestrian usage in crosswalks, the project is conditioned to require the applicant to work with the City to pay 25% of the cost that Public Works determines for a complete redesign of this intersection. The applicant agreed to this condition.

Farmer's Market

Pacific Grove hosts a Farmer's Market that is set up temporarily every Monday from approximately 2-6pm. The temporary market currently sets up along Central Avenue between Forest Avenue and Fountain Avenue. Due to the project's potential effect on the current Farmer's Market location, the permit includes a condition that the hotel's Central Avenue vehicular access point be closed during Market hours. The applicant has agreed to this condition.

Water Waitlist

The subject site is located on the Monterey Peninsula, which is currently experiencing a potable water shortage. The project requests approximately 10.8 acre-feet/year and was placed on the City's commercial water waitlist after receiving Planning Commission approval per S. 11.68.040.c of the Municipal Code. In addition, approval from the Monterey Peninsula Water Management District (MPWMD) would be required prior to issuance of a building permit.

CONDITIONS OF APPROVAL

The Planning Commission approved Hotel Durell with conditions. Those conditions include subjects such as storm water runoff during construction, restricted hotel access during the Farmers Market, developer participation in pedestrian improvements, employee

parking, archeological oversight and tribal consultations. The developer has demonstrated a willingness to consider amending the employee parking at the Lighthouse Theater lot to allowing employees to park in the hotels surface parking lot. The Commission added a condition to have the City Traffic Engineer to study the effectiveness of the traffic and pedestrian movements on Central, particularly where the hotel driveway entrance is.

The Planning Commission also added a deed restriction that binds the surface parking lot to remain a parking lot as long as the hotel is in operation. Finally, the Commission added a condition to plant large specimen trees with a minimum size of 24 inch box in the front of the hotel.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

An Environmental Impact Report (EIR) was been prepared for this project, pursuant to the California Environmental Quality Act (CEQA). The EIR was prepared by a third party, independent firm and was peer reviewed by another CEQA expert for quality assurance. Both the EIR consultant and the City's peer reviewer were selected by the City and have no contractual relationship with the applicant. The Notice of Preparation for the EIR was published on March 16, 2017 and a Scoping meeting was held on April 4, 2017. The public review period for the Draft Environmental Impact Report began on August 31, 2017 and was extended beyond the required 30 day review period to October 26, 2017 for a total review period of 56 days. The EIR found that there are no significant unavoidable environmental impacts.

Traffic

An analysis was performed of the current vehicular, pedestrian and bicycle system in the project area. The analysis found that the project, through the increase of pedestrians, might exacerbate pedestrian congestion. A traffic report was prepared by Hexagon Transportation Consultants in 2016. Based on the application of Institute of Traffic Engineers (ITE) trip generation rates for hotel uses and credit for existing uses on the project site, it is estimated that the proposed hotel would generate **40 fewer daily trips** and a net additional 46 AM peak-hour trips and 12 PM peak-hour trips. These additional trips would not result in the degradation of level of service therefore; the project would have a less than significant impact on intersection levels of service.

Tribal Cultural Resources - AB-52 City staff conducted tribal consultation with the Ohlone Costanoan Esselen Nation (OCEN) Native American tribe, pursuant to Assembly Bill 52. Staff met and discussed the project a total of eleven times beginning on September 29, 2016. Both a Tribal Monitor and archeologist will be on-site during ground disturbance. If any archaeological or paleontological resources are found, the project applicant and/or its contractor shall cease all work within 25 feet of the discovery and notify the CEDD Director. The City and the project applicant shall consider mitigation in consultation with the Ohlone/Costanoan-Esselen Nation and project archeologist. The OCEN tribal representative indicated concurrence with these provisions.

Aesthetics

Evaluation of the existing visual character of a site and potential impacts were part of the EIR review. However, the Governor's Office of Planning and Research (OPR), has recently stated that "visual character" is a particularly difficult issue to address in the

context of environmental review, in large part because it calls for exceedingly subjective judgments. Both federal and state courts have struggled with the issue of precisely what questions related to aesthetics are relevant to an analysis of an “environmental impact”. For these reasons, in its proposed revisions to the CEQA Guidelines published in November 2017, OPR proposes to recast the existing question on “visual character” to ask whether the project is consistent with zoning or other regulations governing visual character. The project will not exceed any of the City’s standards for the 40 foot height requirement. Additionally the project architecture has been reviewed for aesthetics by the Architectural Review Board who recommended a condition that the development modify the bulk and massing to “step-back” from the streets that surround it.

Project Alternatives

Three alternatives were identified for examination and analysis in the Draft EIR; Alternative One is no project, Alternative Two is a mixed-use development and Alternative Three is a reduced hotel capacity. These alternatives constitute an adequate range of reasonable alternatives as required under CEQA Guidelines Section 15126.6

Suggested Corrections to the Final EIR

The primary purpose of public input and collaboration is to improve the quality of essential reports and documents. Through the review process of the Final EIR, there are a few corrections that the staff would suggest the Council make before certifying the EIR. In no particular order those modifications are listed here.

1. Remove references to a Development Agreement. The City originally contemplated the use of a Development Agreement. Suggested modifications to the project do not warrant the use of this legal instrument. Staff suggests the use of a Development Agreement at this time is better served through Conditions of Approval in the Resolution.
2. Remove the references to having the City increase the width of a sidewalk adjacent to Jewell Park as a method to protecting and enhancing the Farmers Market. This condition, while well intentioned, only reduces the amount of precious open space in the park. The wider sidewalk would serve no other useful public purpose. Commenters expressed concern that the proposed widening would impact historic and community resources in a negative way.
3. Staff suggests revising the Master Response 3 on employee parking from locating in the Theater Parking Lot to being provided in the hotel’s Fountain Street Lot where vacant parking spaces will frequently be found. Commenters felt that the Theater Lot provision was difficult to enforce and that the spaces in the Theater Lot were better reserved for shoppers.

OPTIONS

1. Deny the project.
2. Uphold the action of the Planning Commission to approve the project;
3. Direct the applicant to revise the project subject to Council direction.

FISCAL IMPACT

The proposed project would generate additional Transient Occupancy Tax (TOT). A very conservative scenario of 64 percent (70% typical) occupancy for 120 rooms would mean that the hotel would support 28,032 booked rooms annually. Applied conservatively, an

estimate of \$200 per night per room would generate (under the current 10% TOT) approximately \$560,400 per year. Unlike property taxes, 100% of the TOT goes directly to the City's General Fund and is available to fund a wide variety of services and projects for public benefit. In addition, sales tax would be generated by the hotel restaurant and a portion of the increased property tax would accrue to the City.

GOAL ALIGNMENT

The project aligns with Goal 6 Revitalize Downtown. The subject site is developed with a single-story commercial building and 26 space parking lot. The 1994 General Plan and approved Zoning District permit a hotel use. The form and scale of the project are in conformance with the General Plan and zoning district. The project furthers many General Plan goals that are in alignment with Council Goal 6 Revitalize Downtown.

ATTACHMENTS

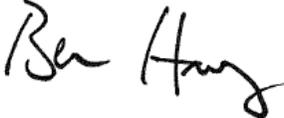
1. Draft Resolution
2. Project Plans & Details
3. [Final Environmental Impact Report](#)
4. CEQA consultant EIR peer review
5. Application
6. Project Data Sheet
7. March 27, 2018 Architectural Review Board meeting minutes and written correspondence
8. April 5, 2018 Planning Commission meeting minutes and written correspondence
9. April 19, 2018 Planning Commission (subsequently cancelled) written correspondence
10. May 17, 2018 Planning Commission meeting minutes and written correspondence
11. Contemporary Downtown Building Design White Paper

RESPECTFULLY SUBMITTED,



Mark Brodeur
Community and Economic Development Director

REVIEWED BY,



Ben Harvey
City Manager

RESOLUTION NO. 18-xxx

ARCHITECTURAL PERMIT AND USE PERMIT AP AND UP #16-203 TO DEMOLISH THE EXISTING 17,500 SQUARE FOOT BUILDING AND BUILD A 120 GUEST ROOM, 82,936 SQUARE FOOT HOTEL PURSUANT TO PGMC §23.31.020

FACTS

1. The subject site is located at 157 Grand Avenue, Pacific Grove, 93950 APN 006-173-001.
2. The subject site has a designation of Light Commercial/ Hotel/Condominium District on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the C-I-T zoning district. The C-1-T zoning district was created through an approval of Ordinance 1951 by a public vote of Pacific Grove citizens on June 7, 1994.
4. The property is located in the Downtown Pacific Grove Business District per Chapter 6.50 of the City's Municipal Code, the 1961 Downtown Parking District and the Area of Special Biological Significance.
5. The subject site is approximately 0.77 acres (33,875 square feet).
6. The proposed project provides 97 valet parking spaces, 55 spaces on-site, and 42 off-site spaces, located on a lot directly across Fountain Avenue using car lifts for 14 of the spaces (APN 006-174-011).
7. The proposed project is adjacent to the Natural History Museum and the Public Library.
8. A Phase 1 Historic Report prepared by qualified historian Richard Brandi determined the existing structure to be ineligible for the City's Historic Resources Inventory.
9. On October 15, 2015, the City Council passed and adopted Resolution 15-056, which concluded the structure not to be historic.
10. An Environmental Impact Report (EIR) was prepared for this project and circulated on August 31, 2017 through October 26, 2017; no significant unavoidable impacts were identified.
11. The proposal requires additional potable water and the project was added to the City's water waitlist.

FINDINGS

Architectural Permit Findings

1. The proposed development will meet the development regulations set forth in the C-1-T zoning district including setbacks and height requirements;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior fits the contexts with the size, scale and proportions of the existing commercial structures in the downtown;
3. The completed project will neither be detrimental to the orderly and harmonious development of the City nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property and the downtown fabric by replacing a surface level parking lot and single-story building with a multi-story building; conforms to the General Plan Commercial Downtown and C-I-T zoning standards; and will improve the downtown's walkability and vibrancy; and
4. On October 15, 2015, the City Council passed and adopted Resolution 15-056 which concluded the structure not to be historic, and therefore does not qualify for historic designation as defined by the California Environmental Quality Act (CEQA).

Use Permit Findings

1. The proposed use is allowed in the C-1-T zoning district with a use permit per Pacific Grove Municipal Code (PGMC) 23.31.040;
2. The proposed structure and parking is consistent with the Pacific Grove Zoning Code with regards to height, setbacks, parking, and coverage in the C-1-T zoning district;
3. The proposed use is consistent with the General Plan Commercial Downtown designation;
4. The establishment, maintenance or operation of the use will not, under the circumstances of this particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;
5. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City;
6. The location, size, and design of the proposed development are compatible with the existing and future land uses in the vicinity because the proposed structure complements the downtown character of the neighborhood improves the economic viability of the downtown; and
7. In approving the permit, the following conditions of approval are imposed and deemed reasonable and necessary to ensure that the approval will be in compliance with the findings cited above.

Final EIR Findings and Certification

- (1.) The final EIR has been completed in compliance with CEQA;
- (2.) The final EIR was presented to the City Council, and that the decision-making body reviewed and considered the information contained in the final EIR prior to approving the project; and

- (3.) The final EIR reflects the lead agency's independent judgment and analysis.
- (4.) The custodian for these documents shall be the City Clerk for the City of Pacific Grove found at 300 Forest Avenue, Pacific Grove, California 93950

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Conformance to Plans.** Development of the site shall conform to approved plans for “Hotel Durell” dated May 2, 2018 by RRM Design Group on file with CEDD and to the City’s Building Code, with the exception of any subsequently approved changes.
3. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval.
4. **Deed Restriction.** Prior to Building Permit submittal record a deed restriction on the lot directly adjacent to the subject site located on Fountain Ave and Ricketts Row (APN 006-174-011; 006-174-012; 006-174-003) requiring the lot’s exclusive use for off-site parking for the use of Hotel Durell for the duration of AP/UP 16-203.
5. **Valet Parking:** All parking provided for the hotel shall be free of charge valet. This condition was added after the Planning Commission hearing with the concurrence of the Owner.
6. **Employee Parking.** Employee parking will be restricted to the Lighthouse Theatre Municipal Parking Lot. Employees shall not be allowed to park in the hotel parking lot or on nearby streets.
7. **During-Construction Pollution Prevention (a):** During construction, the developer shall employ storm water best management practices (BMPs) for erosion and sediment control, prevention of non-storm water discharges, and implement good housekeeping and construction waste management practices to protect the storm drainage system and water quality as required by City Code Section 9.30.130(c), the City Phase II NPDES Permit, State Water Resources Control Board (SWRCB) Construction General Permit (CGP), and the Monterey Regional Storm Water Management Program (MRSWMP). Plans for during-construction storm water management and BMPs, such as a Storm Water Pollution Prevention Plan (SWPPP), shall be submitted to the City and subject to

review and approval of the Public Works/Community Development Director and Building Official prior to issuance of a grading and/or building permit.

8. **During-Construction Pollution Prevention (b):** Construction activities subject to BMP requirements shall continuously employ measures to control waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste at the construction site that may cause adverse impacts to water quality, contamination, or unauthorized discharge of pollutants.
9. **During-Construction Pollution Prevention (c):** Whenever construction activity is being done contrary to and in violation of PGMC Chapter 9.30, the Public Works/Community Development Director may order construction activity stop by posting a written notice on the premises. All persons shall immediately stop such work unless or until the Public Works Director authorizes removing the stop work order and allows construction activity to proceed.
10. **Famers Market.** The hotel will close one of its two entries into the hotel lobby every Monday between the hours of approximately 1 and 8 PM in accordance with the Use Permit that governs the Farmers Market. During the demolition and construction phase on Mondays, all construction work will be confined to the Fountain Avenue and Central Avenue corner of the project for this same period.
11. **Pedestrian safety.** The developer shall pay 25% of the cost that the City's Public Works Department determines for a complete redesign of the intersection to facilitate pedestrian safety. The developers pay for an improved/ painted crosswalk at Central Avenue and Grand Avenue to protect pedestrians.
12. **Roof top.** No activities shall be allowed on the rooftop, other than routine maintenance and repair.
13. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of City staff, and implemented.
14. **Tribal Consultation.** Both a Tribal Monitor and an Archeologist will be on-site during ground disturbance. If any archaeological or paleontological resources are found, the project applicant and/or its contractor shall cease all work within 25 feet of the discovery and notify the Community and Economic Development Department (CEDD) Director. The City and the project applicant shall consider mitigation in consultation with the Ohlone/Costanoan-Esselen Nation and project archeologist.

15. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Applicant to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the City's Zoning Code.
16. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
17. **Stormwater Treatment Measure:** The storm water treatment measures shall be maintained by the property owner in perpetuity and City staff shall be allowed access to inspect all storm water treatment measures on an annual basis.
18. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
19. **Agreement.** The applicant and the owner consent to the proposed conditions.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PACIFIC GROVE:

1. The Council determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Resolution.
2. The Council authorizes APPROVAL of Architectural Permit and Use Permit AP/UP 16-203 to demolish the existing 17,500 square foot building and to construct an 120 room hotel with amenities of approximately 82,936 square feet with off-site parking on a lot.
3. Attachments are hereby approved as attached to this Resolution, which by this reference are incorporated as set forth in its entirety.
4. This Resolution shall become effective immediately following passage and adoption thereof.

PASSED AND ADOPTED BY THE COUNCIL OF THE CITY OF PACIFIC GROVE
this 11TH day of July, 2018, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

BILL KAMPE, Mayor

ATTEST:

SANDRA KANDELL, City Clerk

APPROVED AS TO FORM:

DAVID C. LAREDO, City Attorney

BUILDING CODE ANALYSIS

REFERENCE CODES
2013 CALIFORNIA BUILDING CODE
2012 INTERNATIONAL BUILDING CODE

OCCUPANCY USE AND CLASSIFICATION
SECTION 310 & 311

THE PROPOSED BUILDING CONSISTS OF 3 STORIES OF HOTEL OVER 1 STORY OF VALET PARKING

LEVEL 0 (GROUND LEVEL)

PARKING: S-2

LEVELS 1-3

HOTEL R-1

CONSTRUCTION TYPE

SECTION 602

Parking TYPE V-A
Hotel TYPE V-A

TABLE 601

Structural Frame, Bearing Walls & Floor Construction: 1-Hour Rating
Interior non-load bearing partitions: No Protection Required
Roof Construction: 1-Hour rating

ALLOWABLE HEIGHT AND AREA

SECTION 503

HOTEL
CONSTRUCTION TYPE TYPE V-A
OCCUPANCY TYPE R-1
BASIC ALLOWABLE AREA 12,000 SF PER STORY
BASIC ALLOWABLE HEIGHT 3 STORIES

PARKING
CONSTRUCTION TYPE TYPE V-A
OCCUPANCY TYPE S-2
BASIC ALLOWABLE AREA 21,000 SF
BASIC ALLOWABLE HEIGHT 4 STORIES

ACTUAL BUILDING HEIGHT

HOTEL (R-1): THREE LEVELS; MAXIMUM HEIGHT > 40 FT
PARKING (S-2): ONE LEVEL

AUTOMATIC SPRINKLER SYSTEM

SECTION 903.2.1

AN AUTOMATIC FIRE SUPPRESSION SYSTEM IS REQUIRED AND PROVIDED

AUTOMATIC SPRINKLER SYSTEM INCREASE MODIFICATION

SECTION 506.3

THE AREAS LIMITED BY TABLE 503 MAY BE INCREASED BY AN ADDITIONAL 200% FOR BUILDINGS WITH MORE THAN ONE STORY ABOVE GRADE PLANE

MAXIMUM ALLOWABLE AREA WITH INCREASE 36,000 SF PER FLOOR

FIRE RESISTANCE

FIRE SEPARATION DISTANCE: WALLS

TABLE 602

5 < x < 10 ft. = 1 hour
x > 10 ft. = 0 hours

FIRE SEPARATION DISTANCE: OPENINGS

TABLE 705.8

3 ft. < x < 5 ft. = 15% allowable area can be unprotected openings
5 ft. < x < 10 ft. = 25% allowable area can be unprotected openings
10 ft. < x < 15 ft. = 45% allowable area can be unprotected openings

ACCESSIBILITY

Per California Building Code

Section 1111B.4.3

Required: 7 Fully Accessible Rooms (2 require roll-in showers)
5 Hearing Impaired Accessible Rooms
Provided: 7 Fully Accessible Rooms (2 with roll-in showers)
5 Hearing Impaired Accessible Rooms



RESTAURANT AND PLAZA PERSPECTIVE
CORNER OF GRAND AVE. AND CENTRAL AVE.

ZONING CODE ANALYSIS

PROPERTY ADDRESS: 157 Grand Avenue
APN: 006-173-001
GENERAL PLANNING AREA:
ZONING DESIGNATION: C-1-T

ITEM	PERMITTED / REQUIRED	PROVIDED
Lot Area	As per development permit	33,875 SF
Building Height Limit	40' From Ext. Grade (With site coverage < 75%)	40'
Front Yard Setback (Street X)	0'	0'
Street Side yard Setback (STREET Y&Z)	0'	0'
Rear Yard Setback (New Property Line)	0'	0'
Parking Spaces	78	83

SITE COVERAGE

LOT AREA: 33,875 SF
ALLOWED COVERAGE (PER 23.31.040) 25,406 SF (ALLOWED 75%)

BUILDING FOOTPRINT 24,130 SF
POOL 485 SF
SPA 142 SF
WATER FEATURE 43 SF
WALLS AND NON PERMIABLE 417 SF
TOTAL 25,217 SF

ALLOWABLE EXCLUSIONS

DRIVEWAY 400 SF
WALKWAY 60 SF
ADJUSTED TOTAL 24,759 SF (PROPOSED 73%)

BUILDING INFORMATION

GROSS BUILDING AREA

HOTEL: 120 ROOMS
GROUND FLOOR - COMMON: 1,685 SF
GROUND FLOOR - MAINT.: 2,230 SF
SECOND FLOOR: 15,810 SF
THIRD FLOOR: 22,341 SF
FOURTH FLOOR: 20,655 SF
TOTAL: 62,721 SF

RESTAURANT:
GROUND LEVEL: 4,625 SF

PARKING:
GROUND LEVEL: 15,590 SF (DEDICATED LOT: 8,427 SF)

TOTAL GROSS AREA: 82,936 SF

UNIT COUNT

SECOND FLOOR: 31 ROOMS
THIRD FLOOR: 48 ROOMS
FOURTH FLOOR: 41 ROOMS
TOTAL: 120 ROOMS

LOT SIZE: 33,875 SF

LANDSCAPE AREAS

PAVERS: 3,270 SF
LANDSCAPE: 4,803 SF
DECK: 585 SF
TOTAL PROVIDED: 8,658 SF

PARKING CALCULATIONS:

Per Pacific Grove Municipal Code Section 23.64.190 (g)
Parking space required for other uses allowed in any district and not set forth above shall be determined by the planning commission and set forth as a condition to the granting of the use of permit for such use.
Section 23.64.190 (e)
Not less than one parking space for each four guest rooms in any hotel

PARKING REQUIRED

EMPLOYEE	5
1 / 4 GUEST ROOMS	120 ROOMS
1 / 150 SF MEETING	931 SF
1 / 300 SF KITCHEN	875 SF
1 / 50 SF DINING	1,600 SF
TOTAL:	76

DEDICATED HOLMAN SPACES: 14
TOTAL REQUIRED: 90

PARKING PROVIDED

On-Site Valet	55
On-Site Holman Dedicated	14
Off-Site Valet	28
TOTAL	97

PROJECT INFORMATION

OWNER:

MR. NADER AGHA
449 ALVARADO STREET
MONTEREY, CA 93490

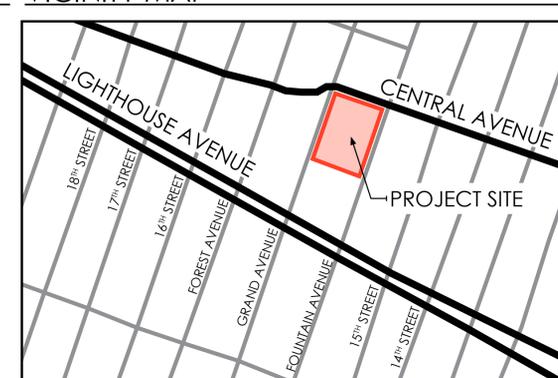
ARCHITECT:

VICTOR MONTGOMERY AIA
RRM DESIGN GROUP
3765 SOUTH HIGUERA STREET
SUITE 102
SAN LUIS OBISPO, CA 93401

SITE INFORMATION:

STREET ADDRESS: 157 GRAND AVE.
APN: 006-173-001
ZONING: C-1-T

VICINITY MAP



SHEET INDEX

- A.1 TITLE SHEET
- A.2 HOTEL ENTRY PERSPECTIVE
- A.3 DEMOLITION PLAN
- A.4 ARCHITECTURAL SITE PLAN
- A.5 OFF-SITE PARKING SITE PLAN
- C.1 GRADING AND DRAINAGE
- L.1 CONCEPTUAL LANDSCAPE PLAN
- A.6 GROUND FLOOR PLAN
- A.7 SECOND FLOOR PLAN
- A.8 THIRD FLOOR PLAN
- A.9 FOURTH FLOOR PLAN
- A.10 ROOF PLAN
- A.11 EGRESS PLANS
- A.12 BUILDING SECTIONS
- A.13 BUILDING ELEVATIONS
- A.14 BUILDING ELEVATIONS
- A.15 BUILDING ELEVATIONS
- A.16 ARCHITECTURAL DETAILS
- A.17 CENTRAL AVE. & GRAND AVE. PERSPECTIVE
- A.18 CENTRAL AVE. & FOUNTAIN AVE. PERSPECTIVE

TITLE SHEET



0123-01-CO15

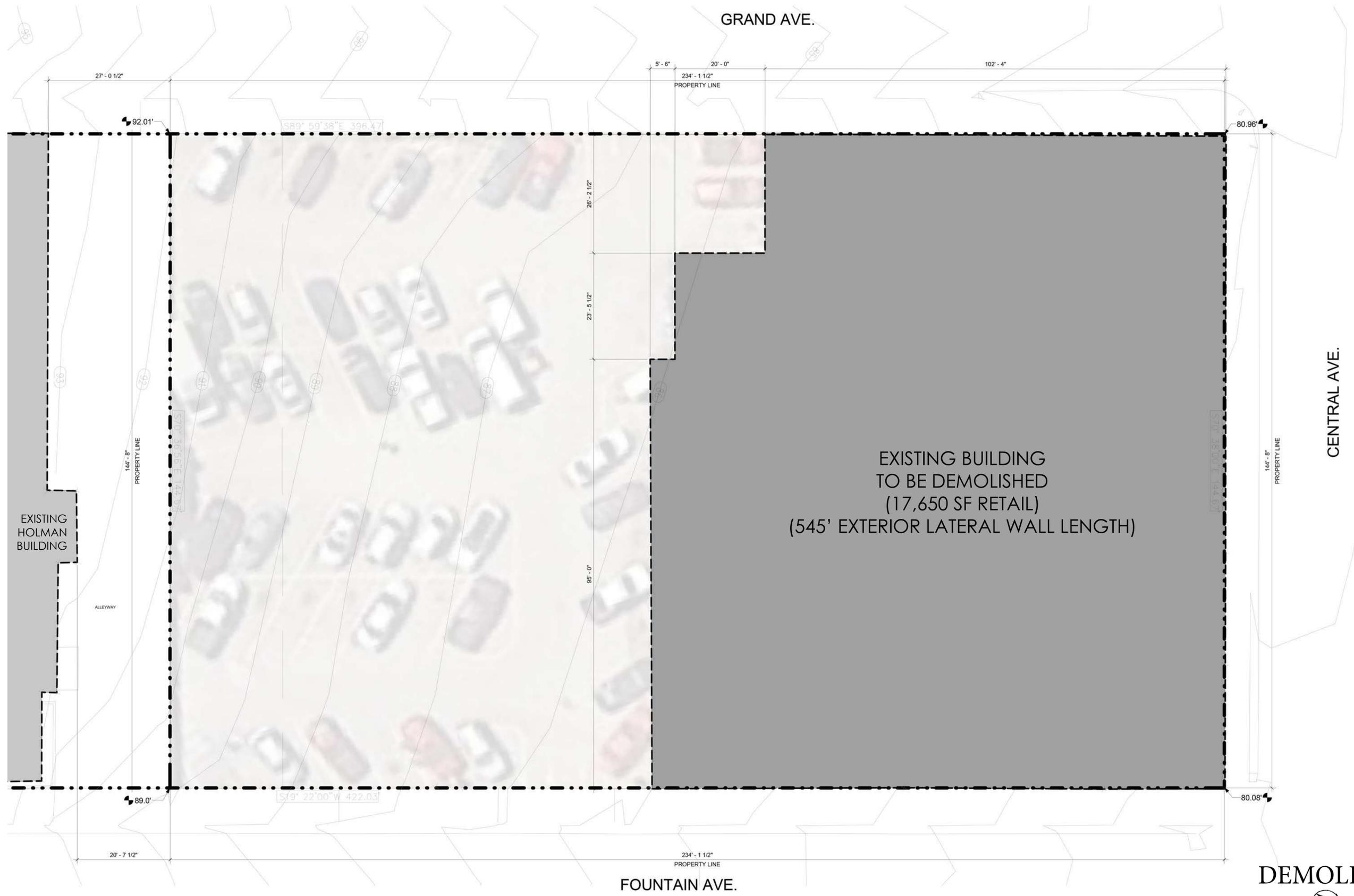
DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.1



HOTEL ENTRY PERSPECTIVE
CORNER OF CENTRAL AVE. AND FOUNTAIN AVE.



EXISTING BUILDING
TO BE DEMOLISHED
(17,650 SF RETAIL)
(545' EXTERIOR LATERAL WALL LENGTH)

EXISTING
HOLMAN
BUILDING

DEMOLITION PLAN
SCALE: 1"=10'



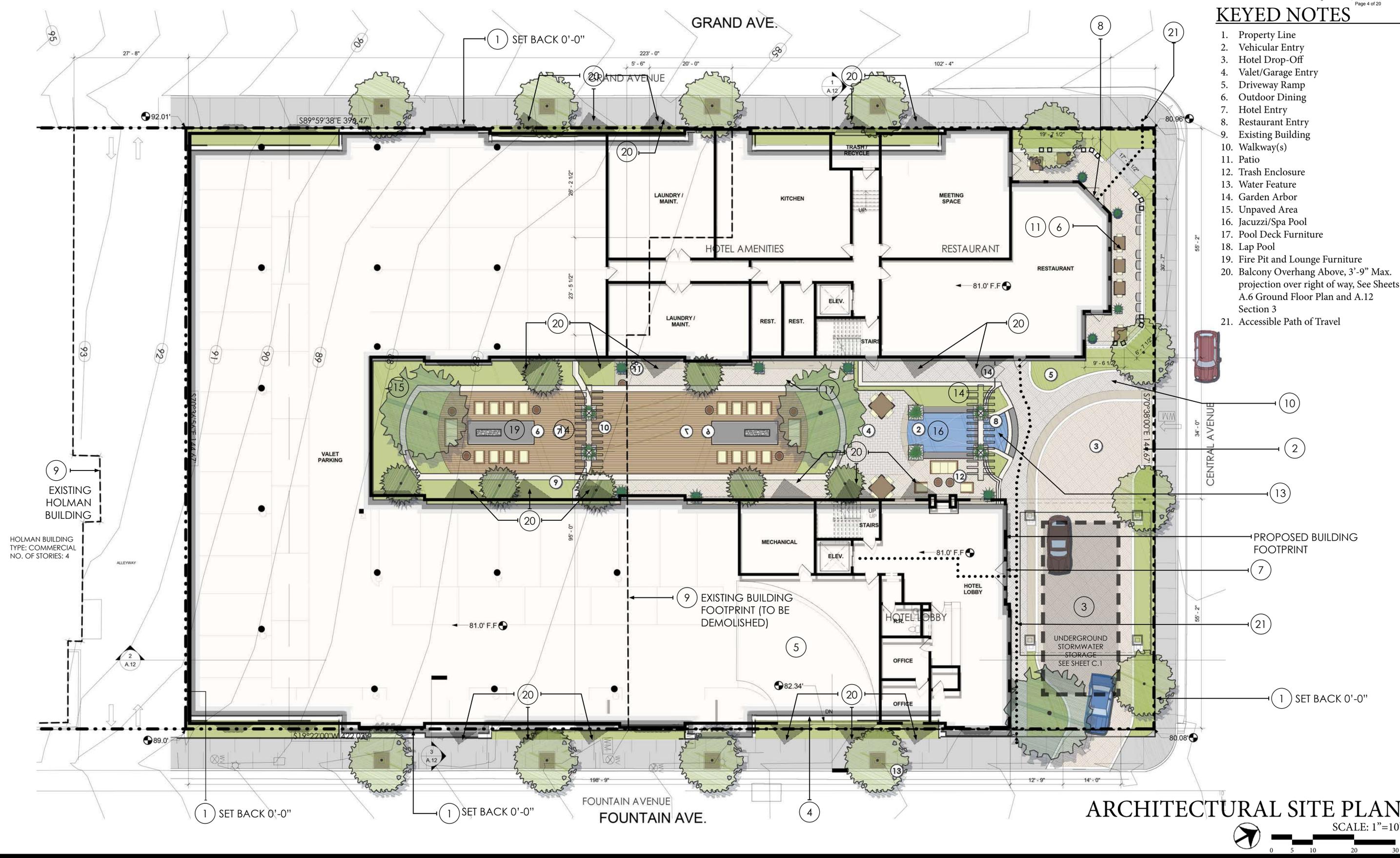
0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.3

KEYED NOTES

1. Property Line
2. Vehicular Entry
3. Hotel Drop-Off
4. Valet/Garage Entry
5. Driveway Ramp
6. Outdoor Dining
7. Hotel Entry
8. Restaurant Entry
9. Existing Building
10. Walkway(s)
11. Patio
12. Trash Enclosure
13. Water Feature
14. Garden Arbor
15. Unpaved Area
16. Jacuzzi/Spa Pool
17. Pool Deck Furniture
18. Lap Pool
19. Fire Pit and Lounge Furniture
20. Balcony Overhang Above, 3'-9" Max. projection over right of way, See Sheets A.6 Ground Floor Plan and A.12 Section 3
21. Accessible Path of Travel



ARCHITECTURAL SITE PLAN

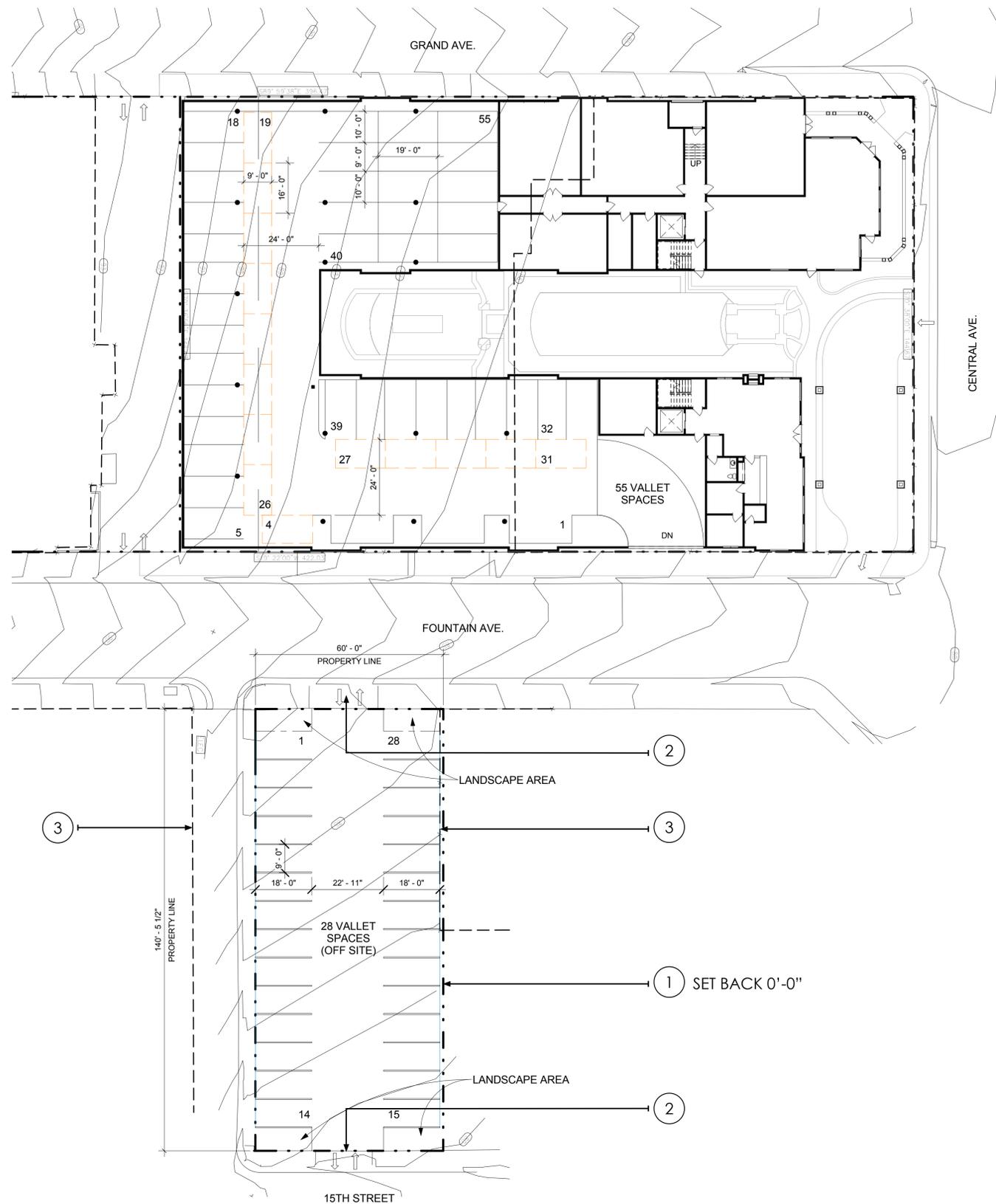
SCALE: 1"=10'



0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

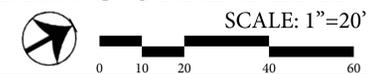
A.4



KEYED NOTES

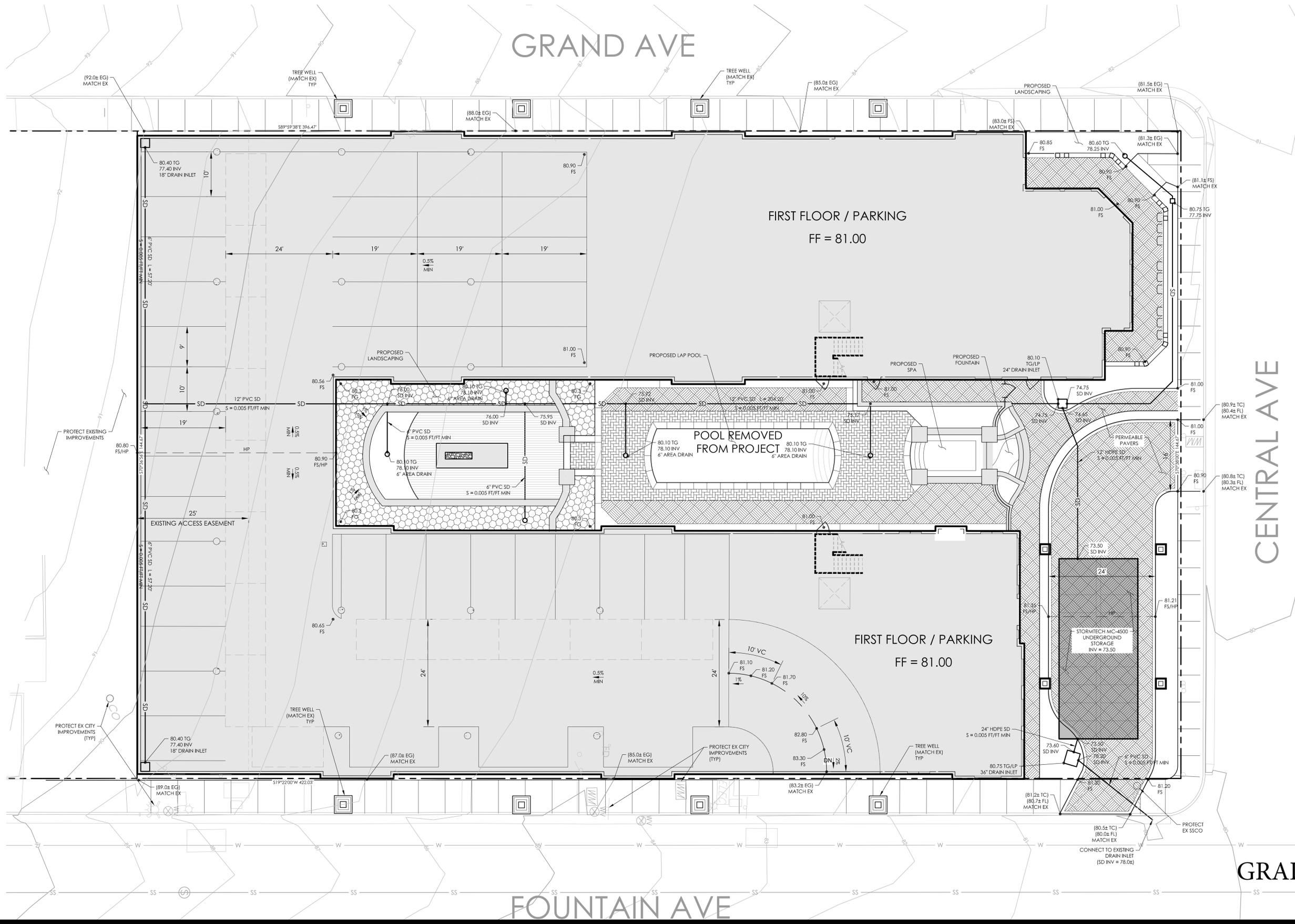
- 1. Property Line
- 2. Valet/Garage Entry
- 3. Existing Building

OFF-SITE PARKING SITE PLAN



HOTEL DURELL - PACIFIC GROVE

A.5



LEGEND

- PROJECT BOUNDARY: - - - - -
- EXISTING WATER LINE: — W —
- EXISTING SEWER LINE: — SS —
- EXISTING FIRE HYDRANT: (Symbol)
- EXISTING TREE LINE: (Symbol)
- PROPOSED CLEANOUT: (Symbol)
- PROPOSED SETBACK: - - - - -
- PROPOSED WALKWAY: (Symbol)
- PROPOSED CONC. CURB: (Symbol)
- PROPOSED 8" WATER: — W —
- PROPOSED 8" SEWER: — SS —
- PROPOSED STORM DRAIN: — RW —
- PROPOSED 8" RECYCLED WATER: — SD —
- PROPOSED WALL: (Symbol)

EARTHWORK SUMMARY

EARTHWORK

RAW CUT:	+4,500 cu yd
RAW FILL:	0 cu yd
RAW NET:	+4,500 cu yd

AREA OF DISTURBANCE: 34,000 sf (0.78 ac)

EARTHWORK SHALL CONSIST OF RESTORATIVE GRADING ONLY. THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED FINISHED GRADES AND THE (LIMITED) TOPOGRAPHIC EXISTING GRADES. THESE QUANTITIES EXCLUDE THE VOLUME OF STRUCTURAL MATERIALS NEEDED FOR BACKFILL, ROADWAY, AND OTHER HARD-SCAPE IMPROVEMENTS. FURTHERMORE, THESE ESTIMATES DO NOT CONSIDER LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY EFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

STORMWATER SUMMARY

AREA CALCULATION:

NEW IMPERVIOUS:	0 sq ft
REPLACED IMPERVIOUS:	25,200 sq ft
EXISTING IMPERVIOUS:	33,875 sq ft
TOTAL IMPERVIOUS:	25,200 sq ft

WATERSHED MANAGEMENT ZONE 4

95th PERCENTILE DEPTH = 1.2"
 IMPERVIOUS AREA * 1.2" = TOTAL REQUIRED STORAGE
 = 2,520 cu ft

PROPOSED STORAGE = 3,200 cu ft

CENTRAL AVE

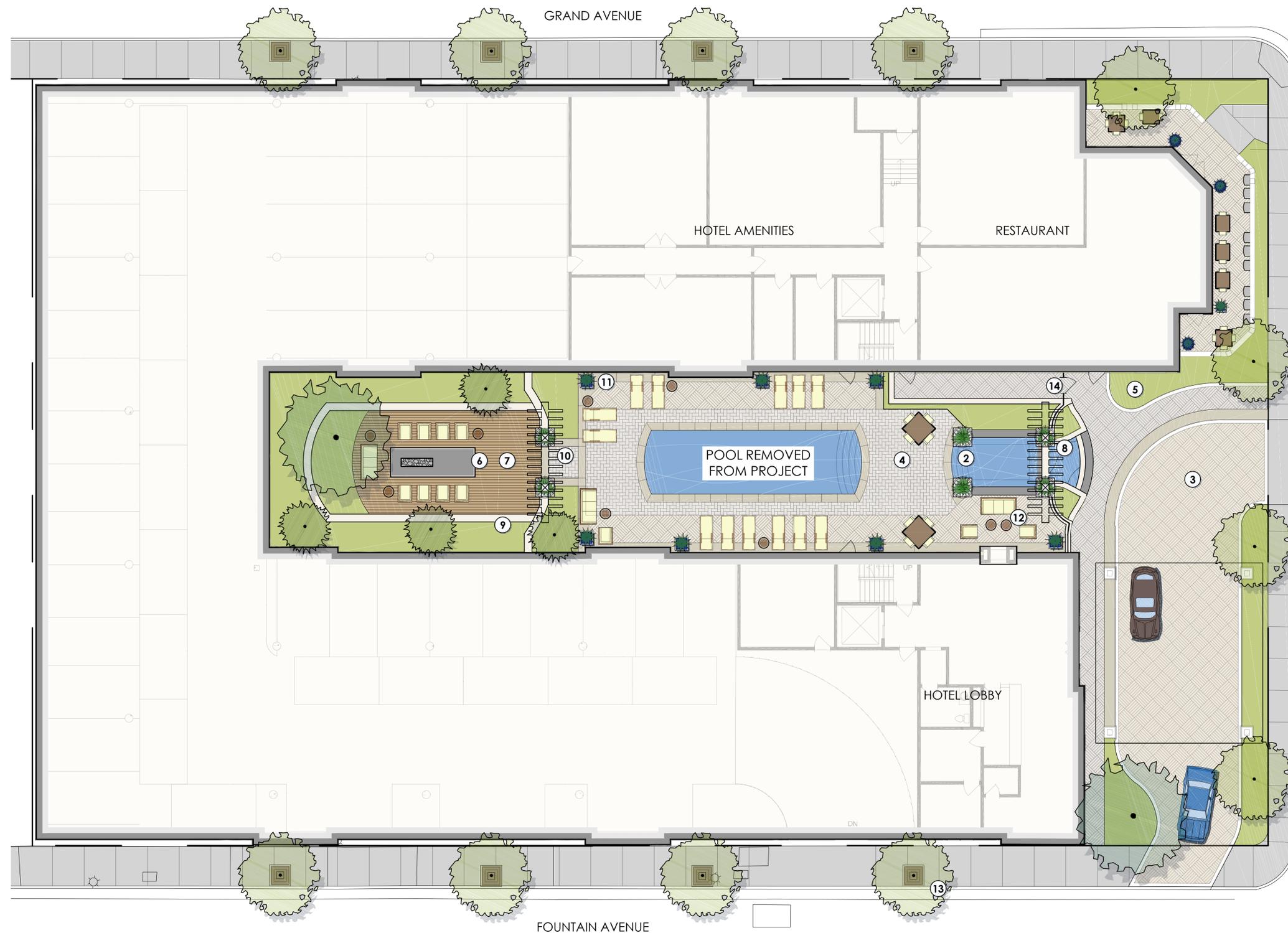
GRADING AND DRAINAGE



0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

C.1



IRRIGATION DESIGN CRITERIA:

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND THE STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE NEW LANDSCAPE PLANT MATERIAL HAS A LOW TO MEDIUM WATER USE.

A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

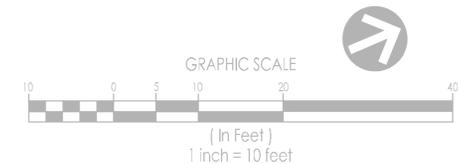
TREES AND POTTERY WILL BE IRRIGATED BY BUBBLERS. ALL OTHER PLANTING WILL RECEIVE DRIP IRRIGATION.

LANDSCAPE PLAN KEY:

- ① POOL - 485sf
- ② SPA - 142sf
- ③ DECORATIVE VEHICULAR PERMEABLE PAVERS, TYP.
- ④ DECORATIVE PEDESTRIAN PERMEABLE PAVERS, TYP.
- ⑤ PLANTING, TYP. SEE PLANTING LEGEND.
- ⑥ FIRE TABLE
- ⑦ WOODEN DECKING WITH LOUNGE SEATING
- ⑧ WATER WALL FOUNTAIN WITH BUILT IN SEATING
- ⑨ LANDSCAPE PLANTER WALL, TYP.
- ⑩ DECORATIVE OVERHEAD ARBOR WITH VINES IN POTS AT BASE
- ⑪ POTTERY, TYP.
- ⑫ SEATING AT DOUBLE SIDED FIREPLACE
- ⑬ CITY APPROVED STREET TREE AND TREE GRATE, TYP.
- ⑭ DECORATIVE FENCING AND EGRESS GATE



CENTRAL AVENUE



CONCEPTUAL LANDSCAPE PLAN



0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

L.1



- ### KEYED NOTES
1. Property Line
 2. Vehicular Entry
 3. Hotel Drop-Off
 4. Valet/Garage Entry
 5. Driveway Ramp
 6. Outdoor Dining
 7. Hotel Entry
 8. Restaurant Entry
 9. Existing Building
 10. Walkway(s)
 11. Patio
 12. Trash Enclosure
 13. Tandem Stall Valet Parking Area
 14. Valet Aisle Parking Spaces (Compact)
 15. Balcony Overhang Above

GROUND FLOOR PLAN
SCALE: 1"=10'



0123-01-CO15 DATE: MAY 2, 2018

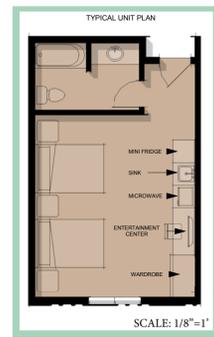
HOTEL DURELL - PACIFIC GROVE

A.6



KEYED NOTES

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine
- 5. Accessible Room



SECOND FLOOR PLAN
SCALE: 1"=10'



KEYED NOTES

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine
- 5. Accessible Room

THIRD FLOOR PLAN
SCALE: 1"=10'



0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.8



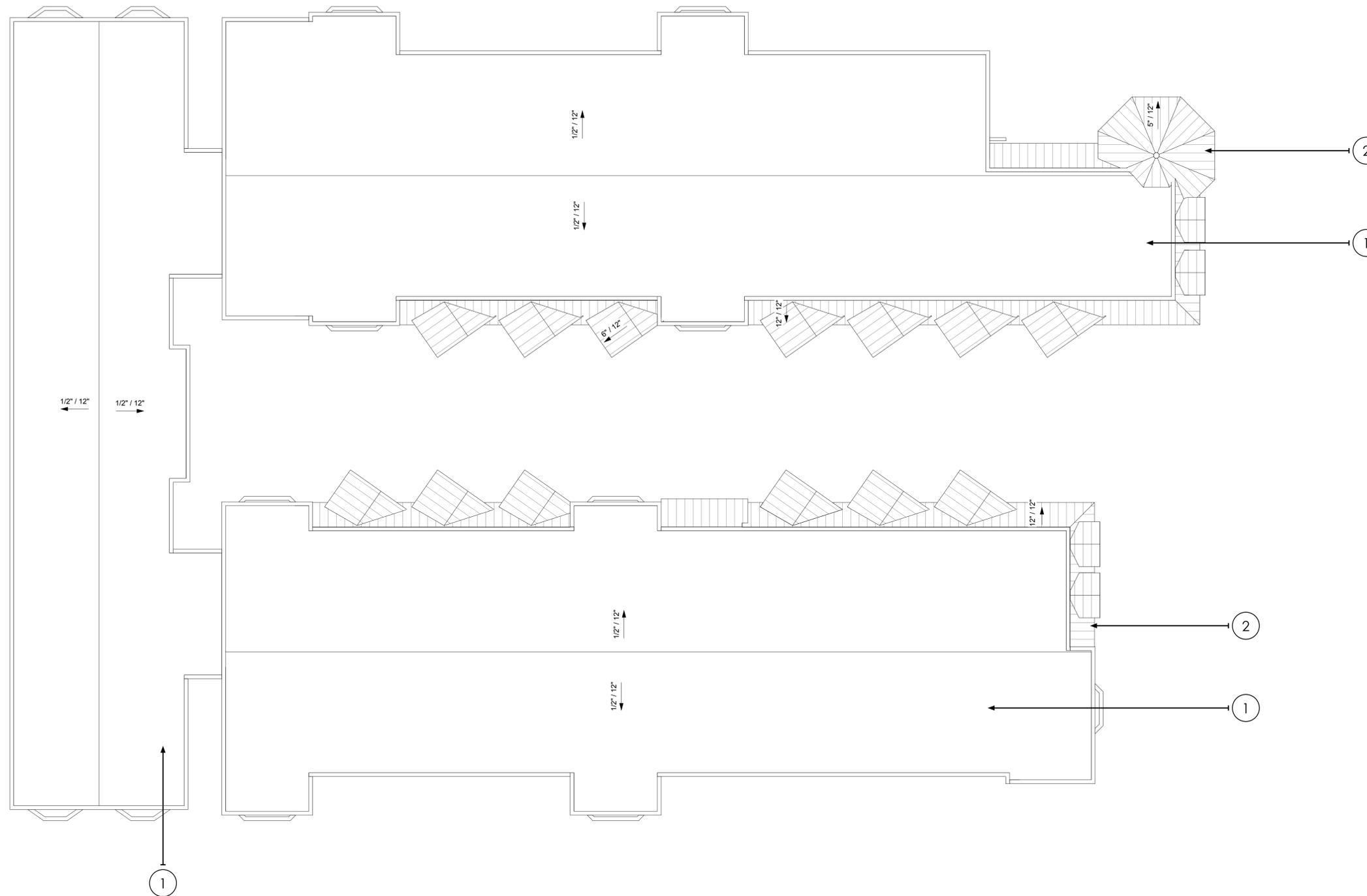
KEYED NOTES

- 1. Lounge
- 2. Exit Stairway
- 3. Elevator
- 4. Ice Machine
- 5. Accessible Room

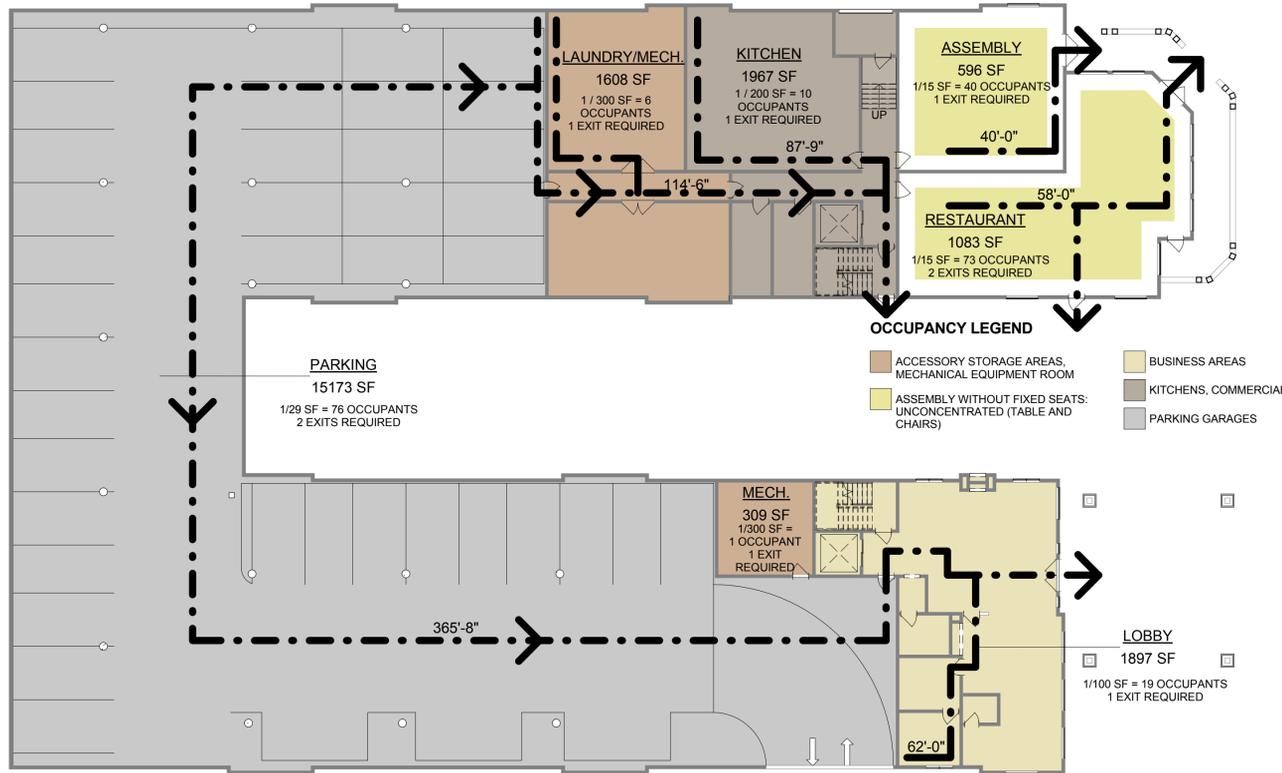
FOURTH FLOOR PLAN
SCALE: 1"=10'

KEYED NOTES

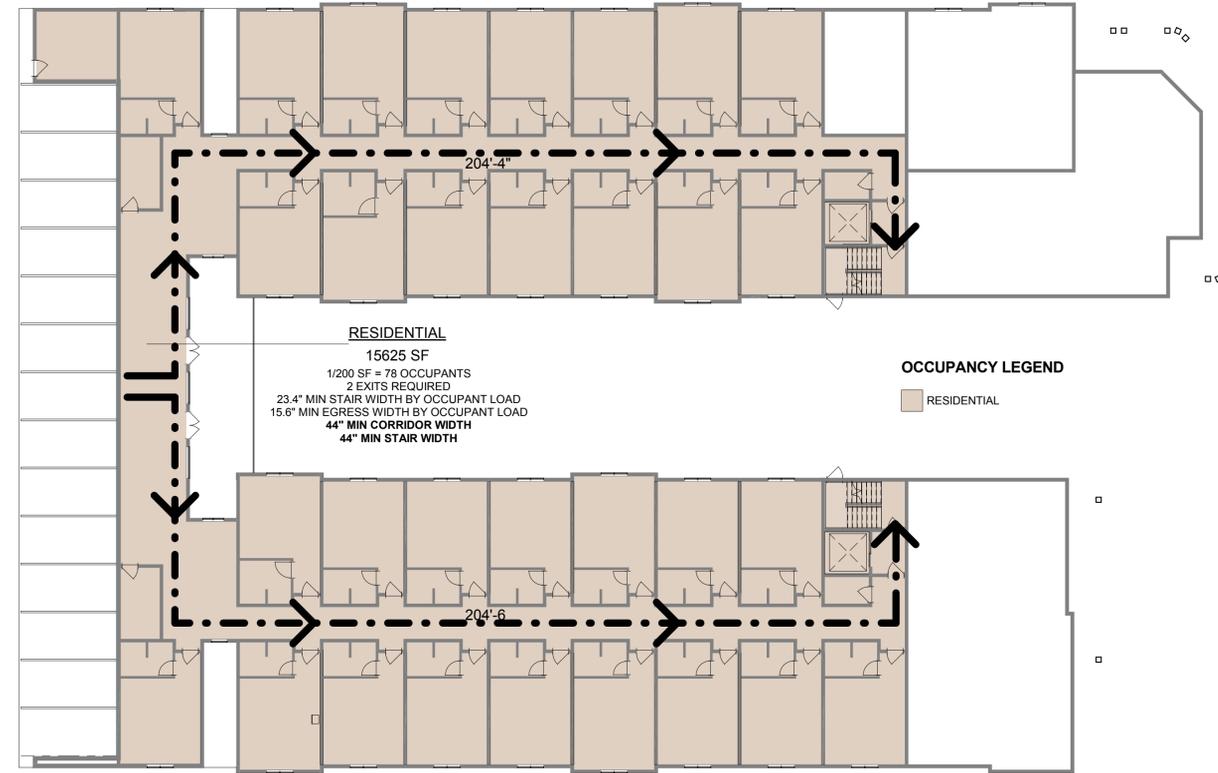
- 1. Flat Roof
- 2. Standing Seam Metal Roof



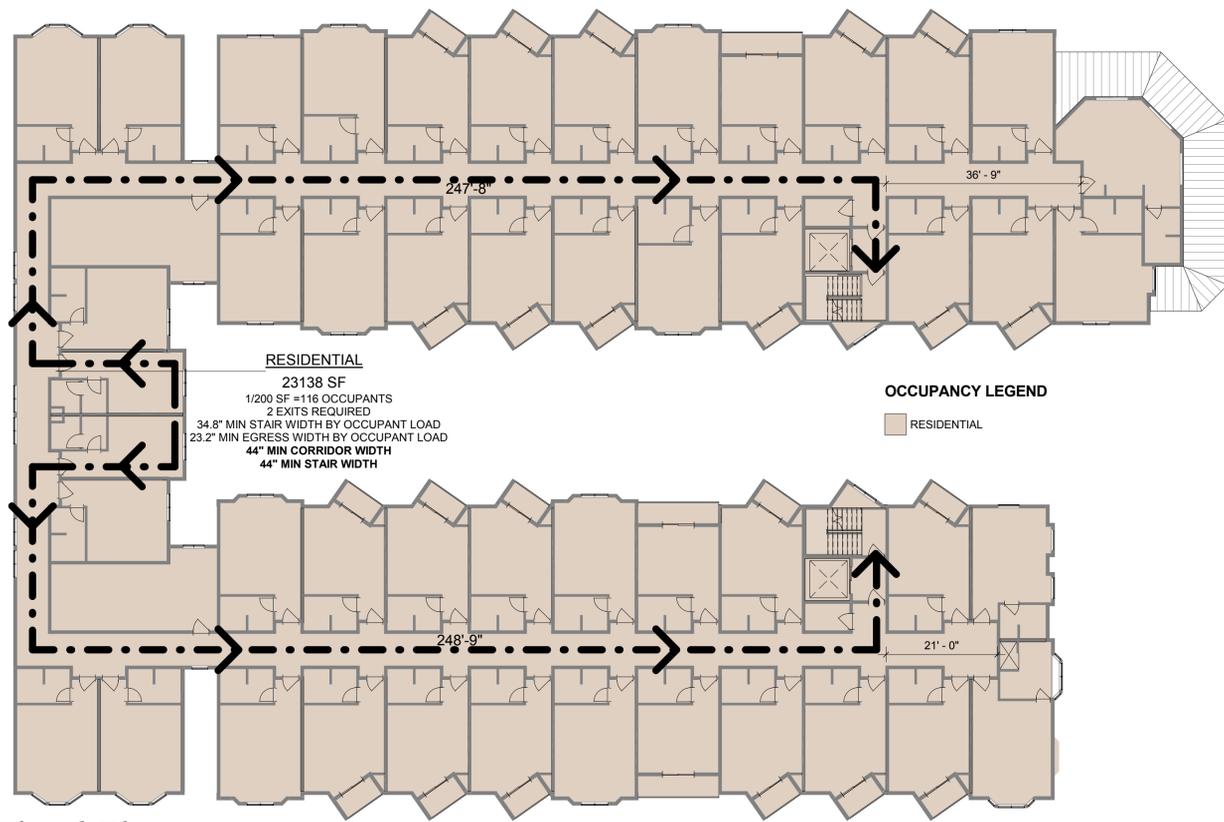
ROOF PLAN
SCALE: 1"=10'



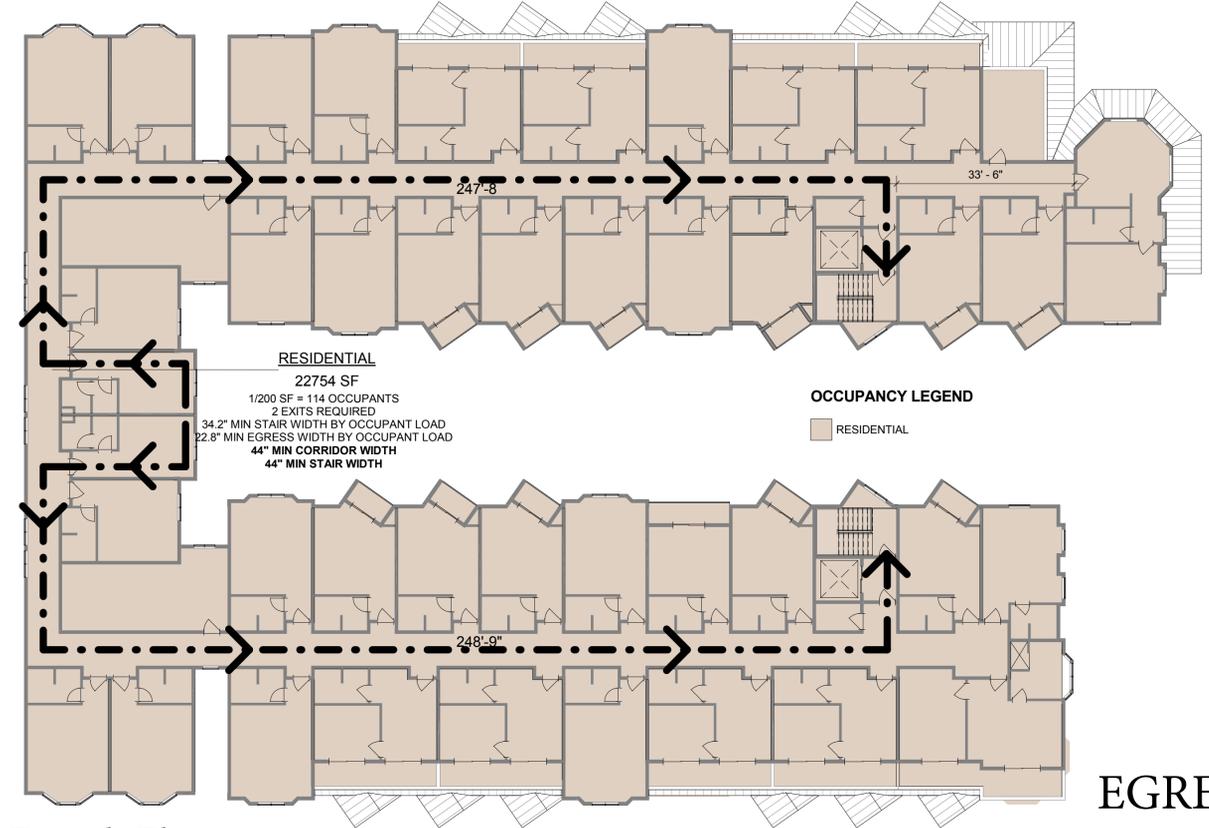
Ground Floor



Second Floor



Third Floor



Fourth Floor

EGRESS PLANS

SCALE: 1/16"=1'

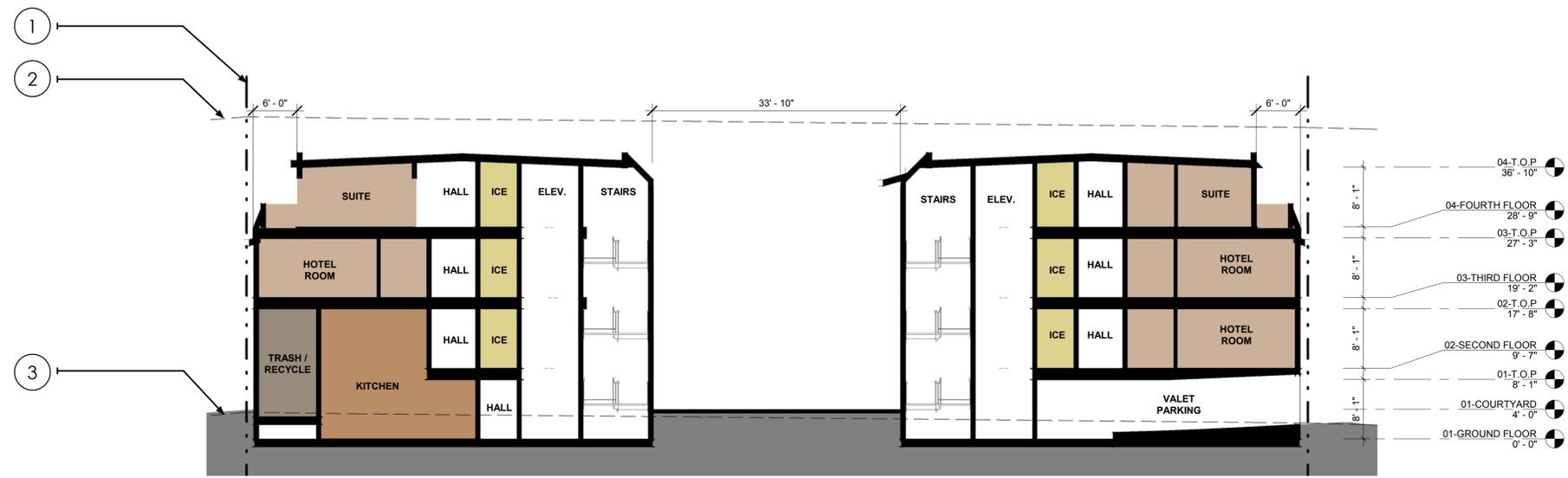


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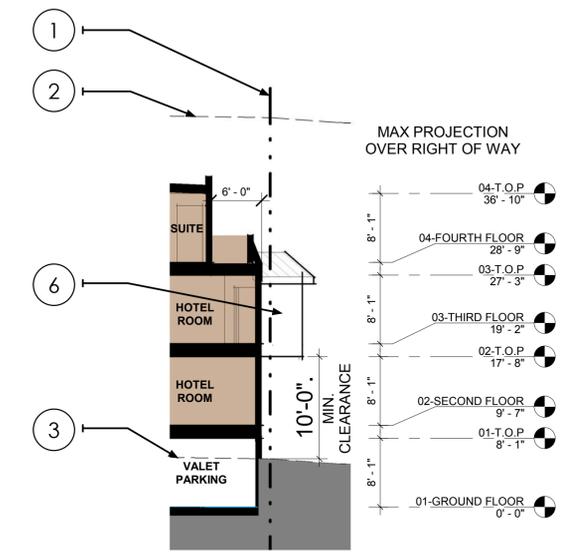
DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.11



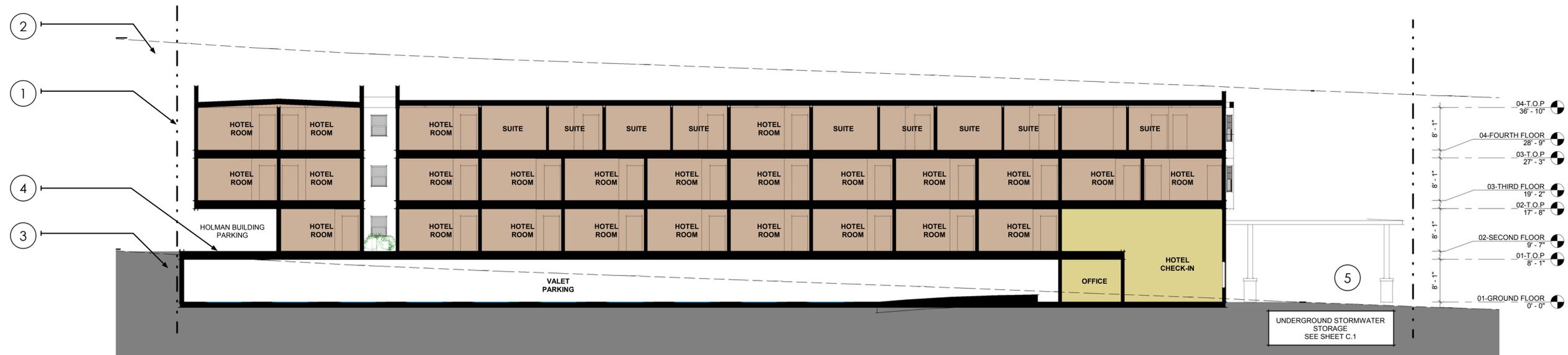
Section 1



Section 3

KEYED NOTES

1. Property Line
2. 40' Height limit from existing grade
3. Existing Grade
4. Holman Building Parking
5. Hotel Drop Off
6. Hotel Room Balcony



Section 2

BUILDING SECTIONS

SCALE: 1"=10'



0123-01-C015 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.12



1. FOUNTAIN AVE. ELEVATION



2. CENTRAL AVE. ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Signage
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line

BUILDING ELEVATIONS

SCALE: 1"=10'





1. GRAND AVE. ELEVATION



2. ALLEYWAY ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Signage
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line

BUILDING ELEVATIONS
SCALE: 1"=10'



0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.14



1. COURTYARD ELEVATION

KEYED NOTES

1. 40' Height limit from existing grade
2. Horizontal Siding
3. Stone Veneer
4. Exterior Fireplace
5. Metal Roofing
6. Painted Trim and Paneling
7. Holman Building
8. Property Line
9. Dedicated Holman Parking
10. Valet Parking



2. COURTYARD ELEVATION

BUILDING ELEVATIONS

SCALE: 1"=10'



0123-01-CO15 DATE: MAY 2, 2018

HOTEL DURELL - PACIFIC GROVE

A.15



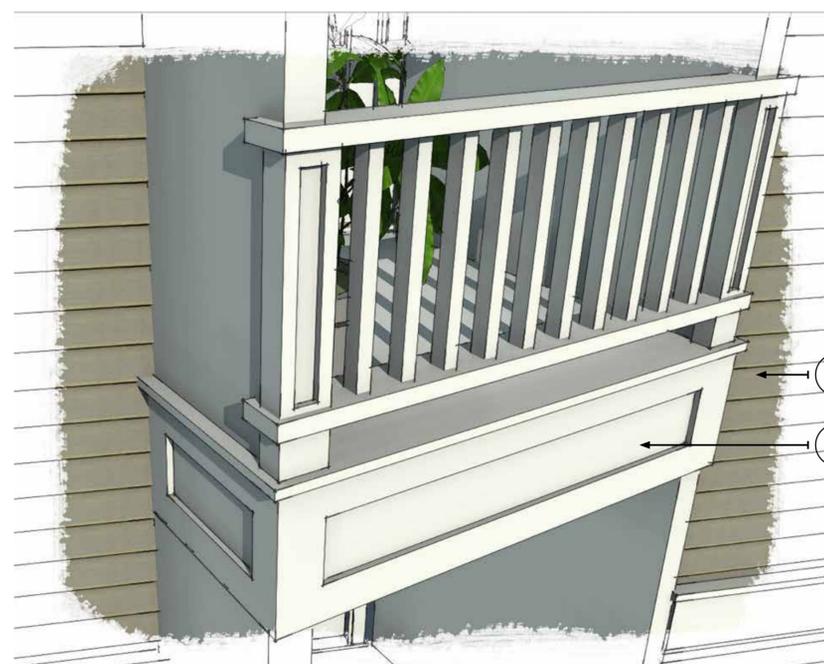
STOREFRONT AWNING



CORNICE DETAIL



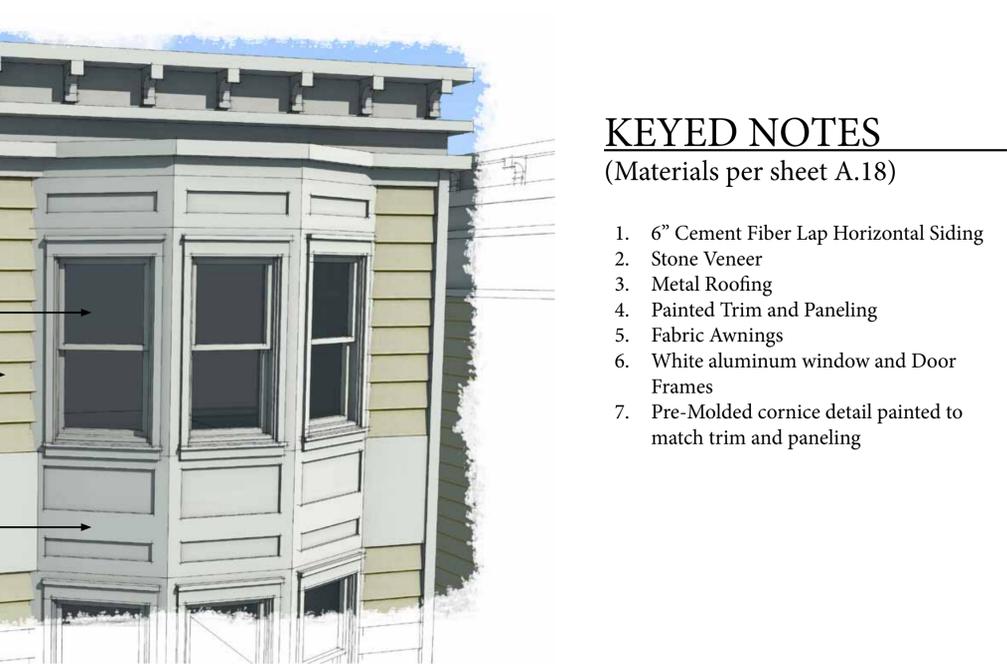
BALCONY ROOF



BALCONY RAILING



TYPICAL WINDOW TRIM



BAY WINDOW

KEYED NOTES

(Materials per sheet A.18)

- 1. 6" Cement Fiber Lap Horizontal Siding
- 2. Stone Veneer
- 3. Metal Roofing
- 4. Painted Trim and Paneling
- 5. Fabric Awnings
- 6. White aluminum window and Door Frames
- 7. Pre-Molded cornice detail painted to match trim and paneling

ARCHITECTURAL DETAILS



RESTAURANT PERSPECTIVE
CORNER OF CENTRAL AVE. AND GRAND AVE.



HOTEL ENTRY PERSPECTIVE
CORNER OF CENTRAL AVE. AND FOUNTAIN AVE.

J. H. Douglas & Associates
Planning Consultants

MEMORANDUM

DATE: July 2, 2018

TO: Mark Brodeur, Community and Economic Development Director
City of Pacific Grove

FROM: John Douglas, AICP

SUBJECT: Hotel Durell Final EIR

Per your request I have reviewed the Final EIR (FEIR) for the Hotel Durell project, and it is my opinion that the FEIR substantially complies with the requirements of the California Environmental Quality Act (CEQA). I concur with the FEIR conclusions that all potential environmental impacts would be mitigated to a level that is less than significant.

As noted in FEIR Master Response No. 9, some of the concerns raised in public comments on the Draft EIR relate to community character and economic/social impacts, which are generally outside the scope of CEQA pursuant to CEQA Guidelines Sec. 15382. Although such issues are not considered to be significant environmental impacts, the City Council is not limited to CEQA considerations in its deliberations and may also consider other issues such as community character in its decision whether to approve the project.

In addition, the FEIR correctly notes that issues related to architectural design and parking are not considered to be significant environmental impacts under CEQA; rather, the relevant question is whether the proposed project is consistent with applicable zoning regulations. In November 2017 the Governor's Office of Planning and Research published proposed revisions to the CEQA Guidelines that would clarify this issue and limit the consideration of aesthetic issues as significant environmental impacts.

It is also my understanding that certain project commitments (e.g., financial contributions to the cost of street improvements) that are described in the FEIR as being part of a development agreement are also part of the project description and are therefore binding on the applicant even if a development agreement is not executed.

Please contact me if you have additional questions.



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Agenda No. 11A, Attachment 5
Application # AP/016-203

Date: 3-14-16

Total Fees: \$ 7,435.35

Received by: Lawrence Halloran

APPLICANT/OWNER:

Project Address: 157 Grand Ave APN: 006-175-001

Project Description: Hotel Durell

120 Unit Hotel + Restaurant

Applicant

Name: R.R.M Design /Randy Russon

Phone: 805-543-1794

Email: rwrusson@rrmdesign.com

Mailing Address: 3765 S. Higuera St, Ste 102
San Luis Obispo, CA 93401

Owner

Name: Nader Agha

Phone: 594-9711

Email: _____

Mailing Address: 449 Alverado St
Monterey, CA 93490

PLANNING STAFF USE ONLY:

Permit Request:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> AVAR: Administrative VAR |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP-A: UP Amendment | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> VAR-A: VAR Amendment |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP-A: AUP Amendment | <input type="checkbox"/> HD: Historic Determination | <input type="checkbox"/> AVAR-A: AVAR Amendment |
| <input type="checkbox"/> ADC: AP Design Change | <input type="checkbox"/> SU: Second Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> PUU: Undocumented Unit | <input type="checkbox"/> Stormwater Permit |
| <input checked="" type="checkbox"/> UP: Use Permit | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> VAR: Variance | <input type="checkbox"/> Other: |

CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

Review Authority:

- Staff
- HRC
- ZA
- PC
- SPRC
- CC
- ARB
- _____

Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: _____

Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: _____ Block: _____ Tract: _____

ZC: C-I-T GP: Light Commercial/Hotel/condo District Lot Size: 33,875 SF

- Historic Resources Inventory
- Archaeologically Sensitive Area

Staff Use Only:

\$ PAID
3,650.35
3-14-16

\$ PAID
3,785.00
on 3-26-16

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: [Signature]

Date: 3/14/16

Owner Signature (Required): [Signature]

Date: _____

PROJECT DATA SHEET

Project Address: 157 GRAND AVE.

Submittal Date: 4/12/18

Applicant(s): _____

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		C-1-T	C-1-T	
Building Site Area		33,875 SF	33,875	
Density (multi-family projects only)				
Building Coverage	75% MAX	52%	71.2%	
Site Coverage	75% MAX	100% ^{0%}	74.4%	
Gross Floor Area		17,650 SF	86,070 SF	
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced		33,875	replaced 25,217	
Exterior Lateral Wall Length to be demolished in feet & % of total*		542 FT	542 / 100%	
Exterior Lateral Wall Length to be built			1055 FT	
Building Height	40'		40' - VARIES 35' TO 40'	
Number of stories		1	3	
Front Setback (CENTRAL)	0'	0'	10' 6"	9' to 35'
Side Setback (specify side) GRAND	0'	0'	0'	0' to 4'
Side Setback (specify side) FONTAIN	0'	0'	0'	0' to 4'
Rear Setback	0'	10' 6"	0'	
Garage Door Setback				N/A
Covered Parking Spaces		0	69	
Uncovered Parking Spaces	92	54	28	
Parking Space Size (Interior measurement)	9' x 20'		VARIES 9' x 19'	
Number of Driveways	1	2	1	
Driveway Width(s)			24'	
Back-up Distance	24'		24'	
Eave Projection (Into Setback)	3' maximum			N/A
Distances Between Eaves & Property Lines	3' minimum			N/A
Open Porch/Deck Projections			0'	3'-9"
Architectural Feature Projections			0'	
Number & Category of Accessory Buildings				N/A
Accessory Building Setbacks				N/A
Distance between Buildings				N/A
Accessory Building Heights				N/A
Fence Heights				N/A

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

Meeting Minutes and Public Comments
pertaining to the March 27, 2018
Architectural Review Board Regular Meeting



MINUTES

CITY OF PACIFIC GROVE ARCHITECTURAL REVIEW BOARD REGULAR MEETING AGENDA

4:00 p.m., March 27, 2018

Council Chambers – City Hall – 300 Forest Avenue, Pacific Grove, CA

Copies of the agenda packet, and materials related to an item on the agenda submitted after distribution of the agenda packet, are available for review at the Pacific Grove Library located at 550 Central Avenue and the CEDD counter in City Hall at 300 Forest Avenue, Pacific Grove from 8 a.m. – 12 p.m. and 1 p.m. – 5 p.m., Monday through Thursday; and on the internet at www.cityofpacificgrove.org/arb

1. Called to Order – 4:00 pm

2. Roll Call

Architectural Review Board Members: Sarah Boyle, Michael Gunby, Tom Lane, Terrence Coen, Rick Shekell, Jen Veitengruber

Absent: Jeff Edmonds

3. Approval of Agenda

Laurel O'Halloran reported that 518 Beaumont has been withdrawn and will not be heard at today's ARB hearing.

On a motion by Member Lane, seconded by Member Gunby, the Board voted 6-0-1 (Member Edmonds absent) to amend the agenda. Motion passed.

4. Approval of Minutes

None

5. Public Comments

a. Written Communications

None.

b. Oral Communications

None.

6. Consent Agenda

None.

7. Continued Agenda-WITHDRAWN

a. Address: 518 Beaumont Avenue (006-685-001)

Permit Application: Architectural Permit 18-113

Project Description: To allow a second story addition of 854 square feet for a master bedroom and bathroom to an existing 2,916 square foot single story single family residence including the garage for a total of a 3,770 square foot two-story single family residence

Applicant/Owner: Dale Bender, Contractor on behalf of Ellen Haley, owner

Zone District/ Land Use: R-1/Medium Density 17.4 du/ac

CEQA Status: Categorical Exemption, Section 15301 Class 1, Existing Facilities
Staff Reference: Laurel O'Halloran, Associate Planner
Recommended Action: Approve, subject to recommended findings and conditions.

The applicant has requested consideration of his application be withdrawn from this hearing and continued to the April 24, 2018 ARB hearing.

8. Regular Agenda

a. Address: 1015 Jewell Avenue

Permit Application: Architectural Permit 18-173

Project Description: To allow the remodel of an existing 2-story residence with a replacement and modification openings of selected window and doors, to expand an existing balcony and entry front porch patio, to install new wood shingle detail siding and a stone veneer planter/foundation finish.

Applicant/Owner: Gretchen Fletcher, Architect, on behalf of Richard and Pamela Shekell, owners.

Zone District/ Land Use: R-1/Medium Density 17.4 du/ac

CEQA Status: Categorical Exemption, Section 15301 Class 1, Existing Facilities

Staff Reference: Laurel O'Halloran, Associate Planner

Recommended Action: Approve, subject to recommended findings and conditions.

Laurel O'Halloran, Project Planner presented a Staff report.

The Chair opened the floor to public comments.

Gretchen Flesher, architect, presented the project.

Pam Shekell, owner, spoke in favor of the project.

Kevin Owen, neighbor, spoke in opposition to the project.

The Chair closed the floor to public comments.

On a motion by Member Gunby, seconded by Member Lane the Board voted 4-0-1 (Edmonds absent, Shekell and Cohen recused) to approve the project as proposed.

b. Address: 157 Grand Avenue (006-175-001)

Permit Application: Architectural Permit/ Use Permit 16-203

Project Description: To allow the demolition of the existing single-story building and to build a 125- room, four-story hotel. The project proposes a total gross floor area of 86,070 square feet on a 0.77 acre lot.

Applicant/Owner: Randall Russom, Architect on behalf of Nader Agha, owner

Zone District/ Land Use: C-1-T/Light Commercial/Hotel/Condominium District

CEQA Status: Environmental Impact Report

Staff Reference: Laurel O'Halloran, Associate Planner

Recommended Action: Recommend approval of the design to the Planning Commission.

Laurel O'Halloran, Project Planner presented a Staff report.

The Chair opened the floor to public comments.

Victor Montgomery, Architect, presented a report on the project.

Randy Russell, Architect for the project, presented a power point on the project design.

Steve Kane, concerned citizen, spoke in opposition to the project.

Jeff Becom, concerned citizen, spoke about the role of the ARB and spoke in opposition to the design.

Terrane Zito concerned citizen, spoke in opposition to the design.

Read Norris from Everyone's Harvest spoke in favor of the City and his appreciation for the City working with the Farmer's Market.

Claudia Sawyer, Chair of the Historic Resources Committee, spoke about in-fill in historic settings and in opposition to the project.

Lisa Ciani, concerned citizen, spoke about the lack of story poles and in opposition to the project.

Inge Lorentzen Daumer, concerned citizen, spoke in opposition to the design.

Jayne Haines, concerned citizen, spoke in opposition to the EIR and wants the City Attorney to review her letters and give input.

Tom McMann, Chair of the Business Improvement District (BID), spoke in favor of the project and feels the concerns about water and parking were addressed by the applicant. The BID gives unanimous approval of the project.

Karen Locke, Concerned citizen, spoke in favor of having the design incorporate a living roof and living walls for an environmentally friendly hotel.

Monique Gardner, Citizen, spoke in high support of the project and the design.

Margaret-Anne Coppernoll, spoke in support of the project and the design.

Victor Montgomery, Project Architect, spoke again noting the City has added a Condition of Approval that construction will not occur near the Farmer's Mrket during that time.

The Chair closed Public Comment.

On a motion by Member Gunby, seconded by Member Lane the Board voted 6-0-1 (Edmonds absent) to approve the project with the following additional condition:

The applicant reduce the massing of the design on Fountain, Grand and Central Avenue and the applicant reduce the number of rooms and still have the same amount of parking.

c. Architectural Review Guidelines for Downtown Commercial Buildings

Description: Discussion of proposed design guideline for Pacific Grove Commercial-Downtown zoning district.

Staff Reference: Mark Brodeur, Director of Community & Economic Development Department

Recommended Action: Receive as information and review, and prepare to provide comments at a following meeting.

Mark Brodeur, Director of Community & Economic Development Department, provided a staff report.

The Chair opened the floor to public comments.

Lisa Ciani, resident, spoke.

The Chair closed the floor to public comments.

The Architecture Review Board discussed the project, and will provide comments and photographs to Director Brodeur.

9. Reports of ARB Members

None.

10. Reports of Council Liaison, Rudy Fischer

Councilmember Fischer provided an update on the March 21, 2018 City Council meetings.

11. Staff Updates

None.

12. Adjournment at 6:13 p.m.

APPROVED BY ARCHITECTURAL REVIEW BOARD



Tom Lane, Secretary



Date

CHARLES HIGUERA
Proprietor



242 Forest Avenue

Pacific Grove, California 93950

Telephone: (831) 375-9581

2.15.2018

M
A
R
K
E
T

Dear Planning Director

I am in favor of the Holman Hotel. The city needs the added revenue. I feel the hotel would be in a good location for visitors to the city. It is within walking distance to all retail and beaches. Please consider a favorable vote for this project.

Thank you in advance for taking the time to read my letter.

Best Regards

Charles Higuera

Charles Higuera
Grove Market



PACIFIC GROVE
CHAMBER OF COMMERCE
& TOURIST CENTERS

March 26, 2018

City of Pacific Grove
Architectural Review Board
300 Forest Avenue
Pacific Grove, CA 93950

On behalf of the Pacific Grove Chamber of Commerce, Board of Directors, and members, we wish to express our support for Hotel Durrell, Central Avenue, downtown Pacific Grove. Below are some advantages and contributions of the development to the City of Pacific Grove.

1. Consistent with City General Plan and Zoning
2. Consistent with Citizen Initiatives land use and development standards for this site (building height, land coverage and hotel use)
3. Is part of the existing City Parking District & close to existing transit stops
4. Exceeds applicable City parking standards (83 valet parking spaces provided)
5. Design borrows from the vernacular of Pacific Grove – consistent with City ARB direction and is compatible with the community
6. Can accommodate the existing Farmers Market schedule and location
7. City prepared EIR says no unmitigated, adverse environmental impacts (traffic, parking, drainage, cultural, historic, etc.)
8. Project will use City water – will go on the City water wait list once approved by City
9. Project will be beneficial to the City of PG and to all downtown businesses:
 - Anticipated to generate over \$500,000/yr. in TOT revenue to City
 - For every \$100 spent on lodging a downtown hotel typically generates \$221 in the destination
 - A typical hotel with 100 rooms occupied per night supports about 230 job in the community
10. The fulfillment of many City policies, a very long process and a critical part of establishing a vibrant downtown PG

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Moe Ammar". The signature is fluid and cursive.

Moe Ammar
President

HAMBROOK'S = LTD.

AUCTION CENTER

February 1, 2018

RECEIVED

FEB 05 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

CITY HALL
C/O Architectural Review Board
300 Forest Ave.
Pacific Grove CA 93950

To Whom It May Concern:

For quite a few years now, the City has been flirting with the idea of a hotel on the Holman Building block. Unfortunately, in all that time, no such project has come to pass.

I cannot emphasize enough how wonderful of an idea the Hotel Durell is, and how sorely needed it is in our downtown. Making sure we get this hotel will help ensure future economic vitality for our City, which for someone who feels so dearly about Pacific Grove, is crucially important.

Please do what is in the best interest of Pacific Grove's residents and business owners – approve this hotel!

Sincerely,



Renate Hambrook
RH/rg

Dear ARB, Please consider the possibility of a win win scenario of creating more of a " town square" by requiring an open park like setback for the Hotel Durrell along Central which would then enhance rather than close in the space bordered by the Library, Jewel Park and the Museum. A walking entrance to the hotel that opened along the lower end of Grand Avenue would also allow visitors to feel the open space created out towards Jewel Park. Further, pedestrian safety would be improved as you can see by the photos that the road curves and narrows as you drive past the Museum to the block in front of the library across from the future hotel. One photo is a view from the front of the library across Central to the proposed site showing afternoon sunlight that would be lost if the building was higher without a greater setback.

A shift in design towards compatible architecture to the Library, Museum and historic homes surrounding Jewel Park also would make more sense visually and further help create a town square.

All of this would also benefit the visitor's experience to Hotel Durrell.

Thank you,
Janet Cohen









Dear ARB, Please consider the possibility of a win win scenario of creating more of a " town square" by requiring an open park like setback for the Hotel Durrell along Central which would then enhance rather than close in the space bordered by the Library, Jewel Park and the Museum. A walking entrance to the hotel that opened along the lower end of Grand Avenue would also allow visitors to feel the open space created out towards Jewel Park. Further, pedestrian safety would be improved as you can see by the photos that the road curves and narrows as you drive past the Museum to the block in front of the library across from the future hotel. One photo is a view from the front of the library across Central to the proposed site showing afternoon sunlight that would be lost if the building was higher without a greater setback.

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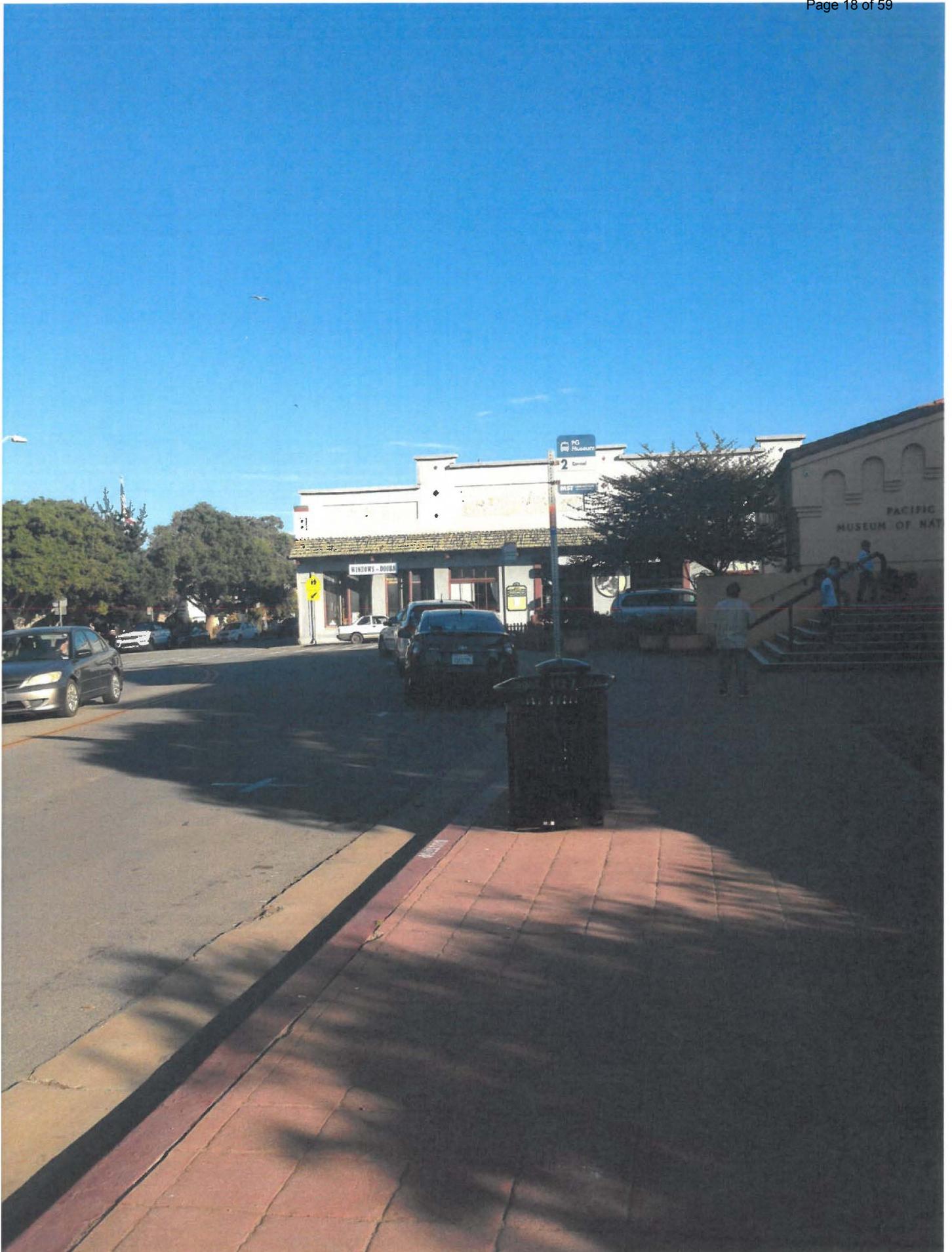
All of this would also benefit the visitor's experience to Hotel Durrell.

Thank you,
Janet Cohen











Debbie Gonzales <dgonzales@cityofpacificgrove.org>

Fwd: Hotel Durrell

2 messages

Sandra Kandell <skandell@cityofpacificgrove.org>
To: Debbie Gonzales <dgonzales@cityofpacificgrove.org>

Mon, Mar 26, 2018 at 10:30 AM

Please see below.

Sincerely,

Sandra Ann Kandell, CMC
City Clerk
City of Pacific Grove
300 Forest Ave
Pacific Grove, CA 93950
(831) 648-3181

"Please note that the email format using @ci.pg.ca.us has been retired. Please use @cityofpacificgrove.org instead. If you use @ci.pg.ca.us, your email will will bounce. Please check your email contacts with the City of Pacific Grove and change the ci.pg.ca.us to cityofpacificgrove.org. If you have the same contact with both addresses, please delete the ci.pg.ca.us entry. Thank you."

Please note Public Records Requests are deemed received on regular business days.

Please also note that email correspondence with the City of Pacific Grove, along with attachments if any, may be subject to the California Public Records Act, and therefore may be subject to disclosure unless otherwise exempt under the Act.

----- Forwarded message -----

From: **Janet Cohen** <janetcohen333@comcast.net>
Date: Sun, Mar 25, 2018 at 8:34 PM
Subject: Hotel Durrell
To: cityclerk@cityofpacificgrove.org

Please forward this email to the ARB for their upcoming meeting regarding Hotel Durrell. I wanted to include photos and could not through the website. Thank you.

Dear ARB, Please consider the possibility of a win win scenario of creating more of a "town square" by requiring an open park like setback for the Hotel Durrell along Central which would then enhance rather than close in the space bordered by the Library, Jewel Park and the Museum. A walking entrance to the hotel that opened along the lower end of Grand Avenue would also allow visitors to feel the open space created out towards Jewel Park. Further, pedestrian safety would be improved as you can see by the photos that the road curves and narrows as you drive past the Museum to the block in front of the library across from the future hotel. One photo is a view from the front of the library across Central to the proposed site showing afternoon sunlight that would be lost if the building was higher without a greater setback.

A shift in design towards compatible architecture to the Library, Museum and historic homes surrounding Jewel Park also would make more sense visually and further help create a town square.

All of this would also benefit the visitor's experience to Hotel Durrell.

Thank you,
Janet Cohen

[Quoted text hidden]

Best regards,

Debbie Gonzales
City of Pacific Grove, Community & Economic Development Department
300 Forest Avenue, Pacific Grove, California 93950
Direct 831.648.3183, Fax 831.648.3184
dgonzales@cityofpacificgrove.org
www.cityofpacificgrove.org

4 attachments



IMG_1943.JPG
2588K



IMG_1946.JPG
1963K



IMG_1954.JPG
2373K



IMG_1956.JPG
2339K



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Hotel Durell

1 message

Jacqueline Fobes <jtfobes@yahoo.com>
To: lohalloran@cityofpacificgrove.org

Mon, Mar 26, 2018 at 9:00 AM

Please NO LARGE HOTEL COMPLEX in Pacific Grove. We have too many cars, too many tourists already , and residents do not want it. Put it on the ballot and ask the residents. This huge complex is just not affecting PG but it affects all of us on the Peninsula. It is too much. Too large. What about water and traffic? Also I would have thought by now, that PG leaders would have more caution in who they deal with. Have you learned nothing over time and past squabbles?

Jacqueline Fobes, Ph.D.

Sent from my iPad



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

ARB Meeting Tuesday , March 24 at 4 PM

John Moore <jmoore052@gmail.com>

Sun, Mar 25, 2018 at 4:03 PM

To: Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

To the ARB Board:

I am a retired but licensed lawyer(JD Stanford School of Law). I practiced for over 40 years; I represented many large developers and participated as a developer.

I was a joint owner of a 200 unit Motel with an eating facility(20 plus years). Therefore, I know that there must be at least one parking space for each room, plus parking for employees, restaurant and conference room attendee's and a provision for Bus and delivery parking.

Please understand that the project requires a "Use" permit. That means that because of its special zoning, the City may and should impose size restrictions to protect the neighborhood. References to the rules for a zoned hotel are subservient to common sense and reasonable limitations, and are designed to mis-lead you. When a project requires a "use" permit, you are in control as to the size of the project. There are no "rights", only reasonable limitations.

Mr. Brodeur has a duty to promote sensible building practices, but he consistently preaches the opposite. The Architecture of this project is two and a half times too large because of its critical location.

As one example of Mr. Brodeurs sales pitch, I refer to the Agenda report concerning parking . He states that the 83 proposed parking spaces exceed the PGMC code requirements: baloney, the parking that he refers to is for on site "covered parking"(one covered space for every four rooms). He refers to Valet parking as real parking, but it is not "code" parking and it will be reserved for guests: over-flow will use up public parking, but the public can't use Durrell parking(except for a fee). Valet parking is almost like no parking as far as the public is concerned. It is parasitic.

Another spectacular limitation on parking is the adjacent "Holman" project. It consists of 20 plus condos and about 50,000 sq. ft of office and commercial with only 44 parking spots that will be used for condo parking. Also, it shares parking with the Durrell. Again, the size of this project is too large. Require that it be significantly reduced. There is no hurry, there is no water for this project, so down-sizing will have minimal impact on the developer. He can make up lost revenue by building larger and more expensive rooms(which is a win-win).

Each of you should read the traffic analyses referenced by Mr. Brodeur. IT REALLY SAYS THAT THIS PROJECT AND THE HOLMAN will have less trips per day than current use. A hotel receives and checks guests out twice a day. That means that a 125 room hotel could create 250 trips on a full day just for room guests. Certainly during event days, the traffic created by the two projects will be huge.

I hereby incorporate by reference my previous correspondence to Ms. O'Halloran related to the NMD and EIR for the Durrell. She will provide you with copies.

This is the most critical development project in the history of Pacific Grove. It will cause some of the most serious gridlock and parking problems in the history of the state. Mr. Brodeur de facto represents the developer: Stand Up to him!

Respectfully submitted, John M. Moore< typical PG resident observing the destruction of our beloved home town.

**7 Herrmann Drive
Monterey, California 93940**

RECEIVED

JAN 24 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

January 20, 2018

City Hall
c/o Mark Brodeur
City Manager
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

Re: The Hotel Durell Project

Dear City Manager,

I am writing to express my support for the new Hotel Durell project that is being proposed behind the Holman Building.

I truly believe it is now time for the City to see this project come to fruition. Pacific Grove badly needs a new hotel that will be a boost to the local economy. Also, I believe that the planned hotel will be an excellent use for this space and will complement the City's character.

I support this project and I urge you and the Council members to also support this timely project.

Sincerely,



Michael G. Adamson

FEB 05

Gardiner's Resort

1957-2009

CITY OF PACIFIC
COMMUNITY

29 Jan. 2011

Dear P.G. Architectural Review Board Members

I am energized of the propose Hotel
Dwell in Pacific Grove.

As a retired Resort owner, my late
husband; John Gardiner and I ran the resort
for 51 years, and were fortunate to meet and
share the uniqueness of a high quality and
personal services. Pacific Grove, will bring
of a quality and much needed charming,
and much holding the Character of Pacific
Grove, and the benefit, the cities tax base.

Pacific Grove deserves this addition for
its charm and uniqueness, To the Monterey
Peninsula

Sincerely
Marilyn Gardiner

To whom it may concern:

I am going to keep this short and sweet. I am writing to your board because I think the Hotel Durell is a great idea. Pacific Grove could really use the extra revenue that the new hotel it would generate, and it will give the downtown a nice morale boost.

I think it should be built, and I hope the city's leaders recognize how great it will be for their town.

Sincerely,

Marietta Von Berg

Marietta von Berg

RECEIVED

FFB 01 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

RECEIVED

JAN 29 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

City Hall
% Architectural Review Board
300 Forest Ave.
Pacific Grove, CA
93950

Dear Members of the Architectural Review Board:

As a longtime Pacific Grove resident, I want nothing but the best for my hometown. That means preserving our beautiful town's character. And it also means finding ways to help our local economy flourish.

It is my strong belief that the proposed Hotel Durell will help our town do both of these things. It checks all the boxes in terms of passing the environmental review, being designed to an appropriate size, and making great use of a space to complement downtown.

And when considering how much it could help local businesses, and the city as a whole, I can only see positives coming out of this project. That is why I support the hotel. I hope you do, too.



Niniv Y Ibrahim
1205 Buena Vista Ave.
Pacific Grove, CA
93950



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

(no subject)

1 message

Nan Heller <hellernan@gmail.com>
To: lohalloran@cityofpacificgrove.org

Mon, Mar 26, 2018 at 4:43 AM

Dear Laurel,

Please DO NOT let this massive development happen. I do not think it is right for Pacific Grove. It changes the ambience for the downtown area and more importantly for the residence.

Please distribute this to all the ARB members.

Thank you,
Nan Heller

RECEIVED

FEB 01 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

To the Members of the Architectural Review Board:

Having lived on the Peninsula pretty much my whole life, and having owned property in Pacific Grove, I have a great fondness for the town. That is why I feel compelled to write to you and express how important it is that you make Hotel Durell a reality.

The reasons for supporting it are simple:

- The downtown could really use a boost, especially with the Holman Building no longer being the retail presence that it once was. I mean this partly from an economic perspective, but also as a point of pride for P.G.
- Pacific Grove can certainly use the tax dollars that would come from both the transient occupancy tax and from all the money that would be spent in downtown by people staying at the hotel.
- The hotel's design is beautiful and thoughtfully crafted to integrate into that space behind the Holman Building. You couldn't find a better project to consider.

No one is proposing to turn Pacific Grove into San Francisco or Los Angeles. But making a splash every once in awhile to boost downtown (which means helping business and property owners, as well as City Hall) is necessary to lift the town economically and keep it going strong into the future.

Best Regards,



Pat Lynch

1/27/18



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

HOTEL DURRELL

1 message

Patsy Volpe <patsymelvin@comcast.net>
To: lohalloran@cityofpacificgrove.org

Mon, Mar 26, 2018 at 9:00 AM

To the ARB Members:

I have written many letters regarding the proposed Hotel Durrell and it seems the fight must continue. Though I would be personally affected by the addition of this proposed monstrosity at the corner of my street, it is not just for personal reasons that I am opposed. I am concerned for the future of our special little town being transformed into a place that looks like everywhere else.

This is not just a tourist town. It is a residential town. I know this is all about money, not only for the owner of the proposed site but for the city. But if it is inevitable that a hotel must be built there, it must be scaled way down and include green space. Furthermore it must be redesigned to look like it fits in with the architecture around it.

I don't want any hotel for reasons I have stated in previous letters. But really the look of the proposed building is too modern, has no character and is far too big.

Respectfully,

Patsy Volpe
126 Grand Avenue
Pacific Grove, CA

NOTE TO LAUREL: please include this letter in the ARB packet and confirm receipt of this email.

Sent from my iPad



ARCHITECTS C7308 BUILDERS B330234
POB 1734 • Pebble Beach, CA 93953-1734 • 831.626.3490 • www.enviro-international.com

January 22, 2018

Dear Mr. Mark Brodeur:

Re: Proposed Hotel Durell.

I am writing to you to express my support for the Hotel Durell project and my hope to see it getting built sometime soon. The plans reflect the input of the City Citizens and the requirements of the City Leaders.

Further, it passes the environmental review with flying colors. But most importantly, the downtown could greatly benefit from this fine addition.

It will bring visitors to town, meaning dollars spent at our restaurants and retail stores on and around Lighthouse Avenue as well as the surrounding merchants; it will provide badly needed TOT to help the city pay its bills; it's a beautiful design that fits in with its surroundings seamlessly and sensibly addresses all the logistical issues such as parking; and it will help boost our city's standing on the Monterey Peninsula by providing quality additional accommodations.

There is so much to gain from making this hotel a reality, and so much to lose if it doesn't happen.

For the sake of Pacific Grove's residents and businesses (of the present and in the future), I urge the city leadership to support this hotel and make sure it gets built.

Lastly, the hotel is named after a well loved member of the community to honor her legacy and what she was able to contribute to the City of Pacific Grove in her lifetime.

Safwat Malek.

City Hall
% Architectural Review Board
300 Forest Ave.
Pacific Grove, CA
93950

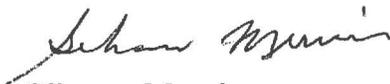
RECEIVED
FEB 01 2018
CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

Dear Members of the Architectural Review Board:

Even though I am not a resident of Pacific Grove I frequently visit it, I want nothing but the best for it. That means preserving the beautiful town's character. And it also means finding ways to help the local economy flourish.

It is my strong belief that the proposed Hotel Durell will help Pacific Grove do both of these things. It meets all the terms required by the environmental review, it is designed to appropriately be in relation to size, and utilization of the space to complement downtown.

I believe it can be of great help to local businesses, and the city as a whole. I strongly support the hotel for all the positives coming out of it. I hope you do, too.



Siham Munir
4063 El-Bosque Dr.
Pebble Beach, CA
93953-3040

January 18, 2018

Dear Director Brodeur,

The Hotel Durell project being proposed behind the Holman Building hits all the right notes. But more importantly, it's exactly what our town needs.

It's a beautiful concept, it's the right size, and it can only stand to benefit Pacific Grove through all the visitors and dollars it will bring into town. And considering our city's mountainous debt, along with the lack of buzz in our our beautiful downtown, this hotel is not only a great project to pursue but a necessary one!

I've been around this town a long time, as a resident and an active member of the community, so I've witnessed the city shoot itself in the foot time and time again. It would be nothing short of tragic for the city to fumble this tremendous opportunity.

Sincerely,

A handwritten signature in cursive script that reads "Richard Stillwell". The signature is written in black ink and is positioned below the word "Sincerely,".

Richard Stillwell

[Home](#) » [277851](#) » [Submission](#) » Submission #54

Submission #54

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 7:25 am

2601:642:c300:a85d:2c44:7b94:a8a4:e66b

Your Name

Jane Haines

Your Email Address

janehaines80@gmail.com

Subject

March 27 ARB Agenda item 8b

Message

Please provide attached letter to ARB members.

Attach a File

[DurrellARBRotation.pdf](#)

[Previous submission](#)

[Next submission](#)

Jane Haines

601 OCEAN VIEW BOULEVARD, APT.1, PACIFIC GROVE, CA 93950

janehaines80@gmail.com

Tel: 831 375-5913

March 25, 2018

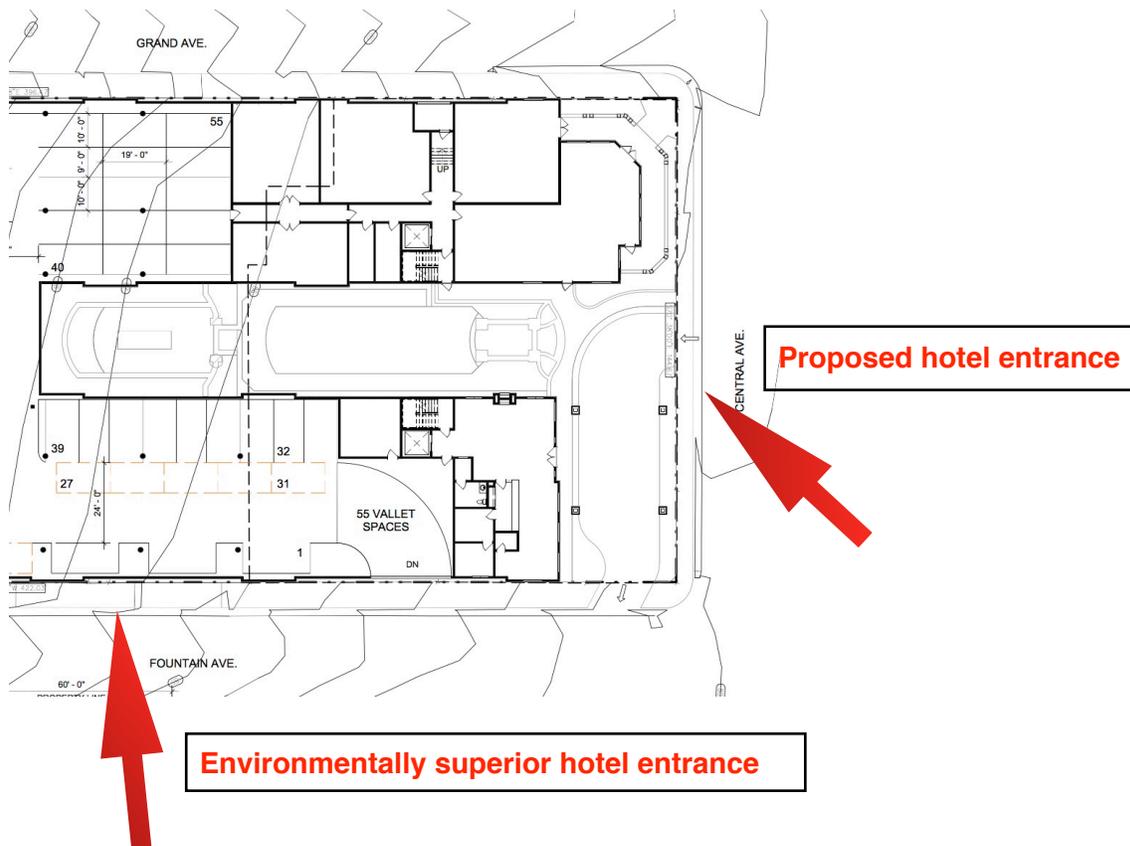
Architecture Review Board
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 3950

Re: March 27 agenda, item 8b - Joint Architectural Permit and Use Permit
Application No. 16-203 - demolition of existing building and construction of new building

Dear ARB:

I'm writing to request you to require the Hotel Durrell to have its entrance on Fountain Avenue rather than on Central Avenue. Such a change would retain existing parking spaces in front of the library and eliminate the need to relocate the Farmers Market, thereby preventing the necessity for widening the sidewalk along Jewell Park, which would result in a smaller park.

The California Public Resource Code §21002 states: "[P]ublic agencies should not approve projects as proposed if there are feasible alternatives or feasible mitigation measures available which would substantially lessen the significant environmental effects" of the project. Relocating the hotel's entrance is a feasible mitigation measure.



Sincerely,

Jane Haines

[Home](#) » [277851](#) » [Submission](#) » Submission #55

Submission #55

[Resend e-mails](#)

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[Next submission](#)

Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 7:55 am

2601:642:c300:a85d:2c44:7b94:a8a4:e66b

Your Name

Jane Haines

Your Email Address

janehaines80@gmail.com

Subject

March 27, 2018 ARB agenda item no. 8b

Message

I am writing to explain why the ARB should decline to make staff's recommended finding that "The final EIR [for the Hotel Durrell project] has been completed in compliance with CEQA." (Reference is to "Certification of the Final EIR findings" on page 13 (of 1103) of the staff report.)

The California Environmental Quality Act (CEQA) Guidelines §15378 defines a project as "the whole of an action which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment." Page 2.0-15 of the final EIR claims the "project" is not located in the Coastal Zone. That is incorrect because the "whole of the action" includes widening the sidewalk in Jewell Park, and Jewell Park is within the Coastal Zone. The Development Agreement provision 3 on page 3.0-3 of the Final EIR states "The project applicant shall work with the City's Public Works Department to increase the width of the sidewalk along the eastern edge of Jewell Park to approximately 18 feet to accommodate increased pedestrian/vendor activity during special events such as the farmers market."

Since Jewell Park is within the Coastal Zone, and since increasing the width of the sidewalk is part of the "project," the Coastal Commission would need to issue a Coastal Development Permit (CDP) for such widening. Since the Coastal Commission is a public agency that has responsibility for

approving a portion of the project, it is a “responsible agency” for this project. Public Resources Code §21069 requires the lead agency (City of Pacific Grove) to consult with all responsible agencies in connection with an EIR.

No evidence shows the City consulted with the Coastal Commission. Thus, the ARB should not approve a finding that the final EIR has been completed in compliance with CEQA.

Additional reasons why the final EIR fails to meet CEQA mandates are explained by my comments and legal inadequacy of the EIR consultants’ responses at pages 2.0-95 through 2.0-114 in the Final EIR.

Attach a File

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Submission #56

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 7:55 am

2601:642:c300:a85d:2c44:7b94:a8a4:e66b

Your Name

Jane Haines

Your Email Address

janehaines80@gmail.com

Subject

March 27, 2018 ARB agenda item no. 8b

Message

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Submission #57

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 7:55 am

2601:642:c300:a85d:2c44:7b94:a8a4:e66b

Your Name

Jane Haines

Your Email Address

janehaines80@gmail.com

Subject

March 27, 2018 ARB agenda item no. 8b

Message

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Submission #58

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 7:55 am

2601:642:c300:a85d:2c44:7b94:a8a4:e66b

Your Name

Jane Haines

Your Email Address

janehaines80@gmail.com

Subject

March 27, 2018 ARB agenda item no. 8b

Message

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Submission #59

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 4:39 pm

2601:642:c300:9a30:44c2:f966:2bb9:11b7

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

March 27, 2018 Agenda Item 8b – Hotel Durell, 157 Grand Ave. AP & UP No. 16-203

Message

Dear Members of ARB:

Please consider my attached letter, as well as the tremendous public input over the last year or more in the IS/MND And subsequent EIR comments.

Sincerely,

Tony Ciani

Attach a File

[ARB Hotel Durell 157 Grand docx.pdf](#)

[Previous submission](#)

[Next submission](#)

Anthony A. Ciani 220 Walnut Street Pacific Grove, California 93950
ARCHITECTURE - PLANNING - HISTORIC PRESERVATION - COASTAL CONSULTANT

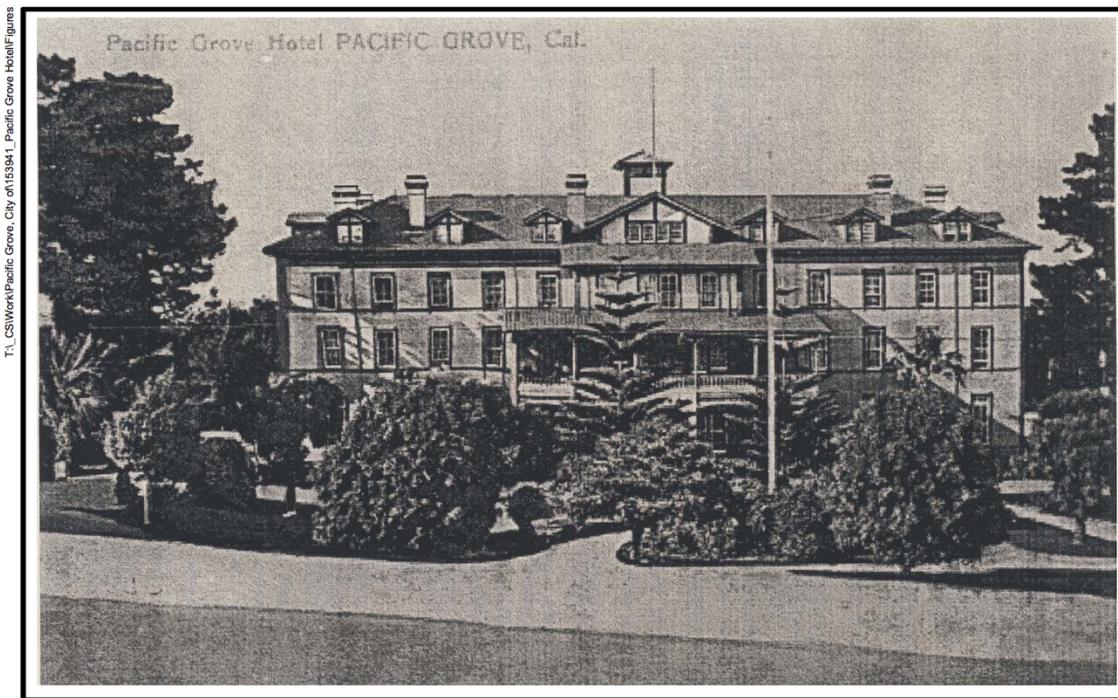
March 24, 2018

Members of the Architectural Review Board
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950
Attention: Laurel O'Halloran, Associate Planner

RE: March 27, 2018 Agenda Item 8b – Hotel Durell, 157 Grand Ave. AP & UP No. 16-203

Dear Members of the Architectural Review Board:

The notion by the EIR consultant that context for the proposed Hotel Durell should be compared to the context of the El Carmelo Hotel built in 1883 and dismantled in 1919 is flawed, unless the applicant also proposes to provide the grand gardens and Monterey Pine forest backdrop as seen in EIR Figure 2-1 below:



The EIR and Staff recommendations rely on this notion to rationalize the concept and recommend its approval. But, the proposed design lacks authenticity of the original model

March 24, 2018

Members of the ARB

RE: March 27, 2018 Agenda Item 8b – Hotel Durell

Page 2



West Elevation Grand Avenue Proposed Hotel Durell

and looks more like a generic roadside motel-hotel along Interstate 5 or Highway 101; not Pacific Grove.

The Staff recommendation also relies on the belief that design review is too subjective, therefore, it must be based on objective zoning limits, such as a height limits and yard setbacks, etc. to be legitimate.

For the record, the public comments in the Draft IS/MND and Draft EIR represent the preponderance of public opinion that is opposed to this project for many valid reasons regarding potential significant adverse effects to the environment. The EIR advises that there are feasible alternatives including a reduction in the number of rooms for the proposed hotel, but to be meaningful, the overall size of the building must be reduced a corresponding amount. Cutting the number but increasing the size of each room to retain the same size building is a sham.

All reasonable alternatives should be given serious consideration, not just mention. For one, I urge the ARB to request the applicant bring back an option to build a smaller hotel with visitor serving uses on the ground floor facing Grand and Fountain Avenues to enhance the pedestrian scale and use of those streets; and, to provide a larger set back and garden area on Central Avenue (similar to the one pictured in the applicant's photo of the El Carmelo Hotel) - to reflect and compliment the Library across the street, with an open area that would enrich that public space with sunlight, and more room for the Farmer's Market.

Sincerely,

Tony Ciani

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Submission #60

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 5:24 pm

2601:642:c301:504c:e1c6:838f:8b15:6a89

Your Name

Maureen Mason

Your Email Address

maureen@maureenmason.com

Subject

Hotel Durell design

Message

Dear ARB Members

I cannot see the design elements of the proposed hotel enhancing the surrounding historic buildings. In fact, the proposed Hotel Durell appears to be over mass and over scale for the parcel. It offers nothing thoughtful nor uniquely Pagrovia to the site. The Carnegie Library and Pacific Grove Museum of Natural History are both significant buildings built during a time where homage was paid to a mediterranean climate and building scale harmonized with the natural environment. Jewell Park, with its diminutive and gracefully scaled gazebo adorns the north west corner across from the proposed hotel. The rhythm and cadence of these three iconic corners will be jarringly affected by the current proposed design of the Hotel Durell.

I encourage the ARB to require the applicant to return with a design that is unique and harmonious to that very prominent corner, not one that appears to belong at any location, anywhere. Obviously, design is a matter of taste and preference but the caliber of architecture should be one that enhances the existing streetscape. We deserve better.

Thank you for your consideration.

Maureen Mason

609 Lobos Ave.
Pacific Grove

Attach a File

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[Home](#) » » [277851](#) » [Submission](#) » Submission #62

Submission #62

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 25, 2018 - 8:48 pm

2602:306:cc22:f090:1cc:ae6d:a523:89cd

Your Name

Vicki Pearse

Your Email Address

vpearse@gmail.com

Subject

Comments on Hotel Durell for ARB

Message

March 25, 2018

Architectural Review Board

City of Pacific Grove, 300 Forest Avenue, Pacific Grove, CA 3950

Re: March 27 agenda, item 8b - Joint Architectural Permit and Use Permit
Application No. 16-203 - demolition of existing building and construction of new
Building

To Members of the ARB:

I respectfully ask that you deny the requested permit until major flaws in the proposed Hotel Durell are addressed. Many members of the public have voiced similar objections, and feasible mitigation measures are clearly available. The following three measures should be mandated:

First is a reduction in the outsized scale of the height, footprint, and number of rooms. A hotel of this size would have a huge negative impact, inordinate and unjustifiable, on the entire surrounding community. It would impose correspondingly large demands on already scarce water

supplies and small, congested streets.

Second is a re-design of the generic façade. The currently proposed Motel Anywhere lacks any sense of the special locale and any relationship to the distinctive architecture of the existing neighbors, the Museum and the Library. This central site in the heart of our downtown deserves respect and imagination, a designer with a vision of an enduring building that we can point to and be proud of, as an element that enhances our City.

Third is a relocation of the hotel entrance to Fountain Avenue. This single modification would confer multiple benefits.

1. An entrance on Fountain would avoid displacing the Farmers' Market, a regular community gathering.
2. It would therefore also avoid the "mitigation" of carving out a stretch of Jewell Park along Grand Avenue, in order to widen the sidewalk and accommodate part of the Market there.
3. It would provide for better traffic flow. With the Hotel's entrance on Fountain, traffic can enter and leave the Hotel going both north and south. (With the entrance on Central facing the Library, the block between the Hotel and the Library would become a dead-end cul-de-sac on Mondays, when Central is closed at Grand.)
4. It would allow for a graceful setback on Central with landscaping and light, a grander aspect at least slightly more reminiscent of the Hotel Carmelo, whose memory the developer wishes to invoke.

Sincerely,

Vicki Pearse
183 Ocean View Blvd., Pacific Grove, CA 93950

Attach a File

[Comments on Hotel Durell for ARB.docx](#)

[Previous submission](#) [Next submission](#)

March 25, 2018

Architectural Review Board
City of Pacific Grove, 300 Forest Avenue, Pacific Grove, CA 3950

Re: March 27 agenda, item 8b - Joint Architectural Permit and Use Permit
Application No. 16-203 - demolition of existing building and construction of new
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Sincerely,

Vicki Pearse
183 Ocean View Blvd., Pacific Grove, CA 93950

[Home](#) » » [277851](#) » [Submission](#) » Submission #63

Submission #63

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[Next submission](#)

Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 26, 2018 - 8:45 am

2601:642:c300:9a30:9:2278:1a0b:e7e4

Your Name

Lisa Ciani

Your Email Address

lisa.ciani@gmail.com

Subject

Hotel Durell, 157 Grand Ave, Agenda item 8b

Message

Dear Architectural Review Board Members,

Please see my attached comments regarding the above project.

Thank you,

Lisa Ciani

Attach a File

[ARB Hotel Durell 03-27-18.pdf](#)

[Previous submission](#)

[Next submission](#)

March 26, 2018

To: Architectural Review Board
From: Lisa Ciani
Re: Hotel Durell, Agenda item 8b

Where are the story poles?!

The last hotel project proposed for this site put up story poles. Up the street at 522 Lighthouse, we were told last month that the reason there were no story poles was that it wasn't structurally feasible to erect story poles on that site—although other cities have found ways to do so in similar circumstances. It's clearly feasible at the historic Holman Garage site to erect story poles for the proposed Hotel Durell. Not providing them is a great disservice to the public.

If there is going to be a hotel on this site, it needs to be compatible with the community character and with the very special nature of the site in the Historic Residential area of the City and in an area of civic and public assembly buildings as described in the Historic Context Statement (pages 184-187 and 231-234). Please observe the ARB review criteria that you are charged with considering (PGMC 23.70.060):

"The siting of any structure on the property as compared to the siting of other structures in the immediate neighborhood and the surrounding area," (e)(2), and "Architectural character shall be aesthetically pleasing of itself and shall either harmonize with adjacent structures, or shall complement architectural characteristics of adjacent structures by means of dignified contrast," (e)(3)

The proposed project is far from an appropriate design for Pacific Grove's beautiful, historical and cultural core. Our special community deserves a low-scale building on that site, stepped well back from the sidewalk across the street from the Library, Museum, and Park with a design that reflects the simple, dignified architectural lines of the Library and Museum, and that protects those buildings from loss of light and protects the view of Mt. Toro from the Museum and from Forest Avenue. The entrance should be on the Fountain Avenue side to avoid impacting the cultural buildings, park, and Farmers Market. The off-street parking needs to be more than adequate to protect the neighborhood parking and the Museum and Library parking for daily attendance and for the frequent night-time programs. The project should not involve paving part of Jewell Park, nor should the City take that on.

Please recommend that the applicant re-design the project to respect Pacific Grove's historic, architectural, and cultural character.

Thank you for considering my comments.

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Submission #64

[Resend e-mails](#)

[Previous submission](#)

[Next submission](#)

Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 26, 2018 - 9:22 am

71.202.13.35

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

March 27, 2018 Agenda Item 8b – Hotel Durell, 157 Grand Ave. AP & UP No. 16-203

Message

Dear ARB,

Please see the attached exhibit.

Thank you for your consideration.

Tony Ciani

Attach a File

[ARB Hotel Durell 157 Grand.2 docx.pdf](#)

[Previous submission](#)

[Next submission](#)

Anthony A. Ciani 220 Walnut Street Pacific Grove, California 93950
ARCHITECTURE - PLANNING - HISTORIC PRESERVATION - COASTAL CONSULTANT

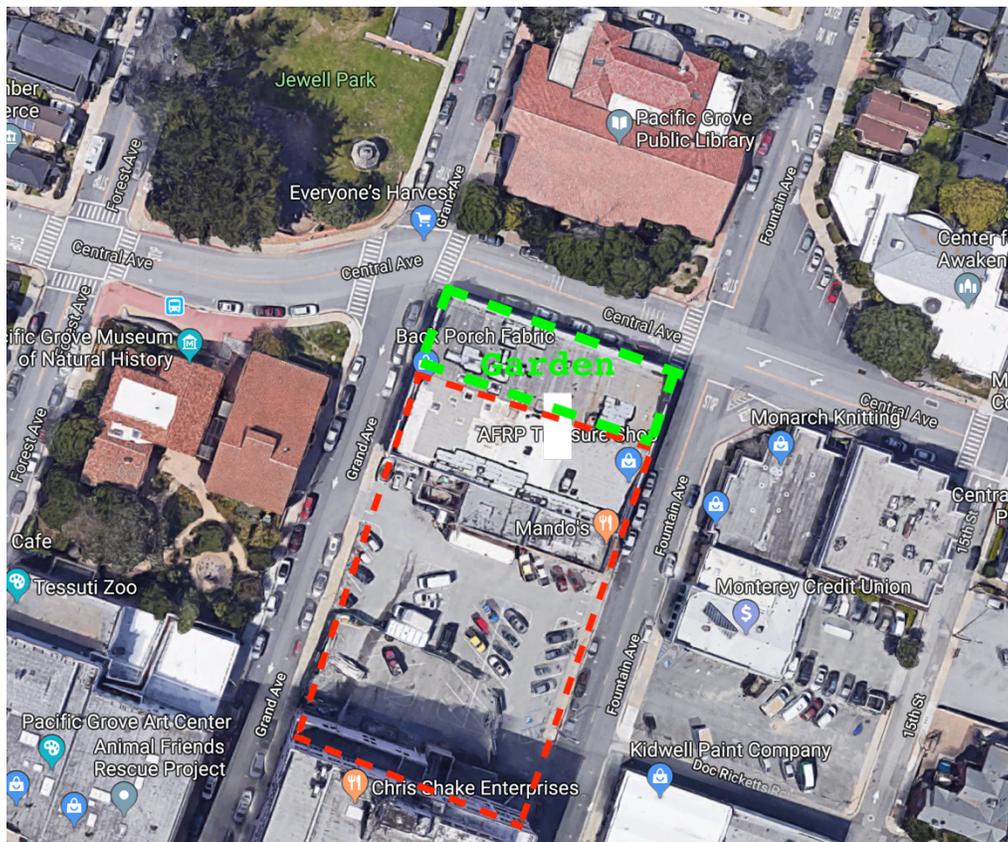
March 25, 2018

Members of the Architectural Review Board
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950
Attention: Laurel O'Halloran, Associate Planner

RE: March 27, 2018 Agenda Item 8b – Hotel Durell, 157 Grand Ave. AP & UP No. 16-203

Dear Members of the Architectural Review Board:

Notice the openness in front of the Library and Museum, and at the angled corners of Central & Fountain Avenues, as well as, Jewel Park. Please consider how a more gracious setback for a garden-like space on Central Avenue would contribute to this “plaza” aesthetic and benefit visibility for traffic and pedestrians to serve as a gateway to downtown.



Respectfully, Tony Ciani

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Submission #65

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 27, 2018 - 11:18 am

2601:642:c302:ff64:6168:6bc:35e0:e2f1

Your Name

Patricia Addleman

Your Email Address

patbuckcreek@gmail.com

Subject

Hotel Durrell

Message

Please reconsider the plans for several reasons, architectural and cultural.

I hoped the style would retain elements of the present building and reflect those of the nearby library and museum - and also the now renovated Holman building. The height and size are out of scale for the Central Avenue area.

If the entrance were on Grand or Fountain Avenue it would not interfere so much with the Farmers Market, the Library and Jewell Park which are important to the local social lifestyle.

Respectfully,

Patricia Addleman
119 Fountain Avenue

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Submission #66

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 27, 2018 - 2:10 pm

2605:e000:fe8a:c000:8072:646c:38a2:a7be

Your Name

Geri Goodell

Your Email Address

gerigood@msn.com

Subject

Hotel Durell

Message

To: Pacific Grove Architectural Review Board

From: Pacific Grove downtown business owner-part owner of Lighthouse Cinema

I feel that the Hotel Durell would be a great asset to the downtown area.

It would bring needed business and foot traffic to the shops and restaurants, plus, bring needed revenue to the City. The design is pleasant and fits in nicely with the surrounding buildings.

There is really no hotel of this size for business meetings and conferences for the residents of Pacific Grove.

The fact that it is centrally located, the guests would not need to drive much creating traffic but would enjoy walking thru town.

.

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Submission #67

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Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 27, 2018 - 2:10 pm

2605:e000:fe8a:c000:8072:646c:38a2:a7be

Your Name

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Submission #68

[Resend e-mails](#)

[Previous submission](#)

[Next submission](#)

Submission information

Form: [Contact the Architectural Review Board](#)

Submitted by Anonymous (not verified)

March 29, 2018 - 12:36 pm

72.177.224.72

Your Name

Victoria

Your Email Address

vsh.lrlc@gmail.com

Subject

Inquiry: 3-27-18 Board of Architectural Review

Message

I was curious about the results of the meeting regarding 157 Grand Ave, the Hotel Durell. Were the plans approved, are there any conditions to the approval. Thank you for your time in advance.

Kind Regards,

Victoria

Attach a File

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Meeting Minutes and Public Comments
pertaining to the April 5, 2018
Planning Commission Regular Meeting



MEETING MINUTES

CITY OF PACIFIC GROVE PLANNING COMMISSION REGULAR MEETING

6:00 p.m., Thursday, April 5, 2018

Council Chambers – City Hall – 300 Forest Avenue, Pacific Grove, CA

1. Call to Order - 6:00 p.m.

2. Roll Call

Commissioners Present: Robin Aeschliman, Bill Bluhm (Vice Chair), Jeanne Byrne, Mark Chakwin (Secretary), William Fredrickson (Chair), Steven Lilley, Donald Murphy.

3. Elections of New Officers

Chairman Fredrickson opened the item by requesting nominees.

Commissioner Byrne nominated William Fredrickson to be Chair and Bill Bluhm to be Vice Chair.

Commissioner Aeschliman nominated Donald Murphy to be Chair, and William Fredrickson to be Vice Chair.

Commissioner Chakwin nominated himself to be Secretary.

The Commission voted 5-2 to re-elect Commissioner Fredrickson as Chair, with Commissioners Aeschliman and Murphy voting for Commissioner Murphy for Chair.

The Commission voted 7-0 by unanimous acclamation to re-elect Bill Bluhm as Vice Chair.

The Commission voted 7-0 by unanimous acclamation to re-elect Mark Brice Chakwin as Secretary.

4. Approval of Agenda

On a motion by Commissioner Byrne, seconded by Vice Chair Bluhm, the Commission voted 7-0 to approve the agenda (Item 9.a. pulled). Motion passed.

5. Approval of Minutes

On a motion by Commissioner Lilley, seconded by Commissioner Aeschliman, the Commission voted 7-0 to approve the minutes for the Planning Commission meeting of March 22nd, 2018. Motion passed.

6. Public Comments

a. Written Communications None.

b. Oral Communications

Please refer to the audio recording for details.

The Chair opened the floor to public comments. The following members of the public spoke:

- Jane Haynes
- Lisa Ciani

The Chair closed the floor to public comments.

7. Consent Agenda None.

8. Regular Agenda

a. Address: 157 Grand Avenue (006-175-001)

Permit Application: Architectural Permit/ Use Permit 16-203

Project Description: To allow the demolition of the existing single-story building and to build a 125- room, four-story hotel. The project proposes a total gross floor area of 86,070 square feet on a 0.77 acre lot.

Applicant/Owner: Randall Russom, Architect on behalf of Nader Agha, owner

Zone District/ Land Use: C-1-T/Light Commercial/Hotel/Condominium District

CEQA Status: Environmental Impact Report

Staff Reference: Laurel O'Halloran, Associate Planner

Recommended Action: Certify the Environmental Impact Report, and approve AP UP 16-203, subject to recommended findings and conditions.

Please refer to the audio recording for details.

Laurel O'Halloran, Associate Planner, provided a staff report.

Mark Brodeur, Director of Community & Economic Development Department, provided additional comments.

The Chair opened the floor to public comments. The following members of the public spoke:

1. Victor Montgomery, project architect at RRM Design Group, provided a presentation.
2. Randall Russom, project architect at RRM Design Group, continued the presentation.
3. Reed Norris, Executive Director of Everyone's Harvest, expressed concerns about the project.
4. Jill Kleiss, resident, expressed concerns about the project.
5. Claudia Sawyer, resident and Chair of the City's Historic Resources Committee, expressed concerns about the project.
6. Jane Haines, resident, expressed concerns about the project.
7. Maureen Mason, resident and Member of Board of Directors for America's Harvest, expressed concerns about the project.
8. Sally Jean Aberg, resident, expressed concerns about the project.
9. Jeffrey Becom, resident, expressed concerns about the project.
10. Lynn Mason, resident, expressed concerns about the project.
11. Lisa Ciani, resident, expressed concerns about the project.
12. Jeffery Varnum, resident, expressed concerns about the project.
13. Ingi Lorentzen Daumer, resident, expressed concerns about the project.
14. Anthony Ciani, resident, expressed concerns about the project.
15. Michael Dickenson, resident, expressed concerns about the project.
16. Vicki McKee, resident, expressed concerns about the project.
17. Janet Cohen, resident, expressed concerns about the project.

18. Robert Fisher, resident, expressed concerns about the project.
19. Richard Stillwell, resident, expressed support of the project.
20. Suzanne Rinehart, resident, expressed support of the project.
21. Thomas McMahon, Chair of Downtown Business Improvement District, expressed support of the project.
22. Steve Thomas, resident, expressed support of the project.
23. Hector Chavez, local business owner, expressed support of the project.
24. Vicky Pearse, resident, expressed concerns about the project.
25. Marietta Bain, local business owner, expressed support of the project.
26. Safwat Malek, architect, expressed support of the project.

The Chair closed the floor to public comments.

The Commission discussed the project.

On a motion by Commissioner Byrne, seconded by Commissioner Chakwin, the Commission votes 7-0 to continue the item to the May 19th Planning Commission meeting. Motion passed.

b. Refining the Permitted Uses on Lighthouse Avenue In Downtown C-D Zoning District

CEQA Status: Categorically Exempt CEQA Guidelines Sec 15305 (Class 5-Minor Alterations in Land Use Limitations)

Staff Reference: Mark Brodeur, Director of Community & Economic Development Department

Recommended Action: Discuss limiting/prohibiting “non-active” uses on the ground floor along Lighthouse Avenue (C-D District Only) within the downtown zoning district. Also discuss permitting some previously prohibited uses such as “Micro-brewery” and “Bars” uses with an Administrative Use Permit. Direct staff to return with a modified Land Use Table 23.31.030 for the C-D Zone.

Please refer to the audio recording for details.

Mark Brodeur, Director of Community & Economic Development Department, provided a staff report.

The Chair opened the floor to public comments. The following members of the public spoke:

□ Luke Coletti, resident, expressed concerns about the project.

The Chair closed the floor to public comments.

The Commission discussed the item.

The Commission asked the CEDD Director to develop a draft proposal for the Planning Commission's consideration at a future meeting.

9. Reports of PC Subcommittees

The Residential Parking Subcommittee will provide a report at a future meeting.

10. Reports of PC Members

Please refer to the audio recording for details.

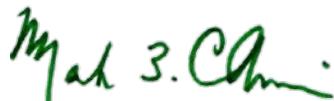
Commissioners Lilley, Murphy, and Chakwin provided brief comments about the recent California League of Cities Planning Commissioners' Academy, which occurred April 4-6, 2018.

11. Reports of Council Liaison None.

12. Staff Announcements None.

13. Adjournment at 9:10 p.m.

APPROVED BY PLANNING COMMISSION:



Mark Chakwin, Secretary

7/2/2018

Date

April 3, 2018

Dear Planning Commissioners;

Re. Item 8a – Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR proposes a joint Use Permit and ARB permit be approved by the Planning Commission

I ask that the following items be considered in regard to the design of the proposed project:

1. City of Pacific Grove General Plan chapter 2, Policy 2
Ensure that new development is compatible with adjacent existing development
2. The Secretary of the Interior Standards for the Treatment of Historic Properties
Building Site –site significance because of its association with historic buildings
Setting (District/Neighborhood) Relationship of buildings to each other, set backs, views, driveways and walkways, and other landscaping together establish the character of neighborhood. P. 20,21 Section 4
3. Architectural design features:
 - a. Site and its relationship to other historic buildings
 - b. Design – mass and scale in relationship to the neighborhood
 - c. Current project design impact on setting (neighborhood)
 - d. Infill design - structures that echo neighborhood and historic setting via appropriate scale, mass, and architectural details

The current project design is not compatible with the historic setting surrounding it. The design is over mass and scale for the site and the neighborhood. Architectural detail is contrived, borrowing a multitude of quasi-Victorian elements. This current design iteration does not belong as infill in this historic Pacific Grove neighborhood.

It is also unfortunate that the citizens of Pacific Grove were not afforded an opportunity to view the current design's mass and scale via story poles. The lack of story poles does not allow appropriate visualization of the impact of the current design. To offer only renderings is inexcusable for a project of this scope and magnitude situated in our historic downtown area.

I encourage the Planning Commission to vote against this project as it is currently designed. The city of Pacific Grove and its citizenry deserve a more thoughtfully designed and scaled building at this site. We deserve a building that respects the history of the neighborhood and its cultural landscapes.

Sincerely,

Claudia Sawyer

Dear Planning Commission

Re: Hotel Durell FEIR (Sorry, this is very rushed there will be clerical errors!)

- Postpone this agenda item.

The email informing Pacific Grove that the

Final EIR for the Hotel Durell project

was

available for review on line was just sent out on March 15. Typically, public review periods are 60 or 90 days. There hasn't been sufficient time for the community to become aware of, let alone review its 1100 pages. For those residents who needed to evaluate it in person there was not even a single copy provided to the Public Library. Only one copy was made available, and that only during Planning Department open hours. The Planning Commission's integrity is called into question here.

The El Carmelo Hotel

It is not legitimate to compare this proposed development to the El Carmelo Hotel. The context could hardly be more different than it was 1883 (and that was an attractive design). There was a good deal more open space at that time, and its mass was accommodated by pine forest and a remarkable, and sizable garden. Even large setbacks involving the importation of numerous mature trees couldn't possibly accommodate this project design.

Further, his ridiculous justification is obviously disingenuous and should give you pause ... what else, not so readily apparent, has been warped to fool you into certifying this EIR?

Is this a "fake project evaluation" for these times of fake news?

Significant Aesthetic Impacts

The Governor's office does not have the authority to change California law and, amazingly enough, neither does the City of Pacific Grove. Regardless of the opinions of City Staff and of those the City is paying, CETA currently requires evaluation of Aesthetic Impacts. [Staff Report: "Aesthetics Evaluation of the existing visual character of a site and potential impacts are part of the EIR review...] Suggestions that this will change do not give developers and City of Pacific Grove the license to ignore overwhelming community input protesting the extreme aesthetic disruption this project will cause to its surroundings. Aesthetics may usually - not always - be considered subjective, but this horrified public comment is itself an objective fact. You have received it as input. The Community's sentiment attests to the very Significant Negative Impact about to devastate one the most important and historic locations in the entire city.

For its immediate surroundings, for its extraordinary neighborhood (neighborhood, not just some different zones), and for the entire City of Pacific Grove this hotel would be a disaster because it is aggressively incompatible with Pacific Grove's identity. Historically, culturally, and aesthetically this

area is identity defining for the entire city. This "Home Town" identity is not at all obscure and it depends, in no small measure, on all the work that has been done over the decades and the hard won success which secured the context into which this development is to blunder.

If you can not see that, you don't belong in Pacific Grove government, advising it, or working in the PG Planning Department.

The only aesthetic mitigation proposed is to occur during construction. It's about the long term that residents have very serious objections.

Expert Opinion

While it couldn't be more obvious to a non-expert such as myself that this design is incompatible with this location, **the City has never dealt with the with the many clear objections voiced by numerous experts in history and architecture which It has received.** Here is part of just one:

Jeff Becom, Jan 2017

The design is in direct conflict with many of the primary Architectural Review Guidelines that were put in place to assure that our precious heritage is preserved.

Quoting from the introduction to the ARB Guidelines, their purpose is "to maintain harmonious relationships between old and new structures and between buildings and the natural environment" and "to protect Pacific Grove's architectural heritage and natural resources." Therefore, these Guidelines are the ideal guiding force upon which to base projects such as the Durell Hotel.

Unfortunately, it is clear that the Guidelines have not been utilized in the proposed design. Below is my synopsis of the relevant ARB Guidelines that are not being respected. The appropriate Guidelines must be called out in the Initial Study and acknowledged in revisions to the proposed design.

Under Section 1, Neighborhood Compatibility:

A series of styles traditionally present in Pacific Grove are described and illustrated in this Section. The style of the proposed hotel is *not* among these. Any claim that the proposed hotel is a Spanish Colonial Revival design is delusional.

Guideline #1:

"The mass and height of a new building should blend well with neighboring structures and not overwhelm them with disproportionate size or a design that is out of character."

Guideline #5:

"Attempt to locate taller sections of buildings where they will not obstruct sunlight to adjacent yards, patios, or rooms." (Specifically, the Library garden.)

Guideline #16:

"An effort should be made to preserve significant public view corridors. (Specifically, of the historic buildings, gardens, and Jewell Park from the neighborhood streets and sidewalks.)

Under Section 3, Mass and Scale of a Structure:

Guideline #24:

"A new structure should appear similar in scale to those seen as traditional in the neighborhood." (The proposed hotel is completely out of scale with its setting.)

Guideline #29:

“Design new roofs to appear similar in scale to those seen traditionally in the neighborhood.” (Where did the mansard roof idea come from? It is totally out of character with Pacific Grove’s architecture and should be abandoned.)

Guideline # 32

“A building should have an overall proportional orientation that is similar to other structures in the setting.” (The proposed hotel is much higher and emphasizes verticality more than its neighbors on three sides.)

Each of these major conflicts with the Architectural Review Guidelines must be addressed in the final design and called out in the CEQA Initial Study as requiring attention.

In order to fit comfortably within its iconic site, the design for the hotel must be significantly lower along Central Avenue and only slowly rise in stages as it approaches the height of the Holman Building. Doing so will not only provide access to sun for the gardens along Central Avenue and space to appreciate the historic character of the surrounding Park and buildings, but would also provide views and terraces for upper floor hotel guests.

I would also propose to retain as much as possible of the original façade of the Durant Motor Car Showroom that currently occupies the site. This structure was recently evaluated and determined to be ineligible for inclusion on the Historic Resources Inventory. But I believed then, as I do now, that this decision was an error. To retain the façade of the building would be a step toward retaining the historic character and scale of the site. The original large arched openings that are currently blocked off could be reopened and would allow for retail display, hotel entrance, auto entry to the site, as well as reference the Spanish Colonial style that is prominent in the area. I ask that this suggestion also appear in the Initial Study.

I believe that the entirety of the area—the historic buildings, streetscape, gardens, and Park—form a “Cultural Landscape” as defined by the Secretary of the Interior. I ask that as part of the Initial Study, a licensed architectural historian investigate this aspect. **As a “Cultural Landscape” it is not enough to save surrounding buildings; the setting of the area also must not be degraded by new development.**

A four-story structure anywhere near the Library, Museum, Park and gardens will be wholly out of context with its neighbors. As currently proposed, the new structure will overwhelm its historic neighbors and cause the historic buildings and gardens to lose their prominence. If built, the proposal will result in a permanent loss to the historic character and scale of the neighborhood as well as a loss to the City as a whole. Please acknowledge and address this concern in the Initial Study.

Visual Character and Quality

Impact 3.1.2 Project implementation would introduce a new element in the project area, which would modify the area’s visual character and quality. The EIR admits to and only concerns itself with the temporary modification of the area’s visual character and quality. The suggested mitigation is also temporary.

Currently, on exiting the **Library** one is struck by the view, through and above the trees in its front garden, of the beauty and spaciousness of the sky. This dependably available **Impact of aesthetic** pleasure will be entirely destroyed by the gigantic Hotel Durrell building completely blocking the sky. The loss of this sky is a loss of open space, and it is a **substantial adverse effect on a scenic vista.**

The EIR is incorrect. **Impact 3.1.1** "Project implementation would not have a substantial adverse effect on a scenic vista."

The Alternatives studied are insufficient

because there is no consideration of an Alternative which is reduced significantly enough to be compatible, especially aesthetically, with the immediate area, or the larger neighborhood, surrounding the development site. **The reduced alternative studied - "with 90 rooms, as well as all project site improvements proposed" - is much to large to fit this requirement.**

From the EIR: "Alternative 3 – Reduced Hotel Capacity. Under Alternative 3, a smaller hotel would be constructed on the project site, with 90 rooms, as well as all project site improvements proposed under the project"

The NOP stated: "Alternatives to be analyzed in the EIR will be defined based on their potential to reduce or eliminate significant environmental impacts associated with the proposed project. The specific alternatives may include, but are not limited to the "No Project" alternative as required by CEQA and a reduced capacity alternative"

A Reduced Hotel Capacity Alternative should reduce the project by at least half - Capacity, Mass, and Height.

3.3.3 Permanent increase in ambient noise levels

Less than significant: I disagree. While I am neither a machine capable of measuring decibels, nor a scientist, I believe I can state with absolute certainty that the "ambient noise level" around it will be **significantly impacted** by the addition of a 4 story, 125 room hotel where now exist only small businesses, intermittently visited. The definition of "substantial" can be argued, but the addition of this hotel will meet the criteria established: "substantial permanent increase in ambient noise levels **in the project vicinity above levels existing without the project.**" (Definition of ambient: "of or relating to the immediate surroundings of something")

Parking

The City standard of one parking space for every four hotel rooms should be changed, not just quoted and blindly followed. In this case, the project's 83 parking spaces to service 125 rooms, other meeting rooms, restaurant, bar, and special events, and for 19 staff members is inadequate. Every occupied hotel room will need a parking space - guests are not going to walk or take public transport to and from Pacific Grove. The other functions of the hotel will need to be accommodated as will the staff. This insufficient parking will impact the rest of the neighborhood and downtown. The Planning Commission should suggest that the City change this out dated standard meant for decades ago, not approve this plan.

The EIR does not concern itself with the uses and importance of particular parking spaces. For one example, the 5 parking spaces on Central across from the library are to be eliminated. These spaces are constantly in use by library, museum, and park patrons. This will make using these facilities more difficult, probably even hamper their use because of the reduced access - in other words, their capacities will be reduced. Loss of these particular parking spaces is likely also to impact the surrounding residential neighborhood.

" Emergency Response

Public Services (TRAFFIC) Threshold 1: environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the following public services: fire protection, police protection, schools, parks, or other public facilities."

The EIR states the project, "would increase motor vehicle traffic and congestion during the AM and PM peak traffic times on roadways used by transit, bicyclists, and pedestrians." **Emergency response will be affected** (Fire trucks from Monterey, etc.)

Cumulative Impacts

I have not seen where the cumulative impacts on traffic, parking, noise, and light which result when this projects contributes to the effects created by the redevelopment of the Holman Building have been evaluated. **Where are the environmental impacts of the Holman Building redevelopment listed and evaluated together with the Hotel Durrell's impacts?**

From the (D)EIR: **"CEQA Guidelines Section 15130 requires that EIRs include an analysis of the project's cumulative impacts to determine if the project's effect is considered cumulatively considerable. The cumulative effects of the project and other potential development in Pacific Grove and the determination as to whether impact are cumulatively considerable (i.e., a significant effect) are contained in each technical section." (?)**

Recreation

Guests, especially because of the Durrell's large capacity, are likely to reduce the availability of Jewel Park for many of the recreational uses now enjoyed by residents. The space is bound to be overwhelmed by this out-of-scale recreational use.

Significant Environmental Impacts

Concern has been expressed that substantial increased recreational use of Jewel Park, shoreline parks, and the recreation coastal trail would result from this development and would harm those environments. .Where have these **potentially significant environmental impacts** on these various individual resources been evaluated? These concerns have basically just been dismissed offhand.

"Threshold Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated"

Orwellianisms

Staff states that this development is consistent with General Plan Goals and Policies

"The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and polices that call for the **orderly, well-planned, and balanced development consistent with the historic nature of Pacific Grove**, the capacity of the City's infrastructure, and ability to assimilate new growth.

"The proposed use is consistent with the general plan, and;

3. The establishment, maintenance or operation of the use will not, under the circumstances of this particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, and;
4. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city, and;
5. The location, size, and design of the proposed development are compatible with the existing and future land uses in the vicinity because the proposed structure complements the character of the neighborhood improves the economic viability of the downtown, and;
6. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property.

Almost none of this is not true.

-What *specifically* are Staff's reasons

- given that the overwhelming majority of public response to the project has been against it - for recommending this project be approved? That this **Final** EIR be certified, given all its flaws, inaccuracies, unexamined issues, and the extremely abbreviated time for public notification (what notification has there been for this project so important to the entire community?!)

- The Final EIR does not address repeatedly stated concerns and objections raised in response to the DEIR.



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Attention All Planning Commissioners

1 message

Celia Stauty <celiams5215@yahoo.es>

Wed, Apr 4, 2018 at 1:22 AM

To: "Lohalloran@cityofpacificgrove.org" <Lohalloran@cityofpacificgrove.org>

Celia Stauty

[142 Carmel Ave.](#)

[Pacific Grove, CA 93950](#)

April 3, 2018

Chairman Bill Fredrickson and Members of the Planning Commissioners

City of Pacific Grove

[300 Forest Avenue](#)

[Pacific Grove, CA 93950](#)

RE: April 5, 2018 Agenda Item 8a - Hotel Durell, [157 Grand Avenue](#), AP/UP 16-203, Certify EIR

Dear Chairman Fredrickson and Planning Commissioners,

I am writing to let you all know how extremely concerned I am to hear about the proposed construction of the Hotel Durell at 157 Grand Avenue.

I am concerned about the height of the building - 4 stories seems way too big for the area, and in my opinion would overshadow and detract from the normal enjoyment of the area being so close to the Museum and Library, and Farmer's Market areas. Not to mention it towering over and obstructing the view of neighboring homes, of which being only a few blocks away on Carmel Avenue, I am included. I am deeply upset that NO story poles outlining the proposed true height and volume of the proposed building have not been installed, relying solely on artist's renditions to try to convey the impact on the neighborhood as far as overall size.

The proposed number of rooms, 114, is ridiculous! I can only imagine the negative impact that this number of guests, plus hotel employees will create in traffic, parking congestion, and water use!!! I do not understand how this project could have even gotten this far. This is not, in my opinion, in keeping with sound judgment and oversight for guarding the citizens of Pacific Grove from undue hardship. I do not think it is right to allow any business of this size to come into the city without adequate onsite parking included in the design. If all employee and guests vehicles cannot fit onsite, then it should not be allowed. Further, I suspect that there is not enough water to allow a business of this size to come into our neighborhood either. I seriously doubt that enough consideration to the increased traffic flow has been addressed. Lighthouse Ave already gets gridlocked during rush hour, 114 more guest's vehicles, plus employee vehicles would only exacerbate the issue!

There are way too many issues, in my opinion, for this project to be allowed forward as currently designed.

I truly hope that my concerns, as well as the concerns of my fellow Pacific Grove residents, home owners, and business owners will be heard.

Regards,

Celia Stauty

Dear Chairman Fredrickson and Planning Commissioners':

I absolutely oppose this proposed development. It will completely change the character of the neighborhood. Why would the City even want a hotel, similar to a **Hilton Garden Inn**, in the middle of its "Last Hometown"? It is completely oversized and lacks any charm. Pacific Grove is historically noted for its Victorian charm, so again, why would this monstrosity get the "green light" from the City?

["Developer Nader Agha is heading up the hotel project. The hotel, if all goes as planned, will be a 135-room **Hilton Garden Inn**. Agha wants to build it on the back two-thirds of the property". (KSBW/Jun 16, 2015)].

I firmly believe the City can continue to work with this developer, to create **realistic feasible alternatives**, feasible alternatives that can still generate needed revenue, (TOTS), for the City. Yes, a green hotel that maintains the character of Pacific Grove, while simultaneously addressing the totality of environmental concerns. Such environmental concerns as water, traffic, parking, cutting down of oak trees, etc., that have either been inadequately addressed or simply ignored.

Finally, where are the **story poles**? Not feasible? I find that answer a tad ludicrous, because there were story poles placed for the Holman Building, for its four-story proposed development.

The **size and scope** of Hotel Durrell absolutely raises legitimate concerns. Please consider not only your historic legacy, but that too of the overwhelming wishes and demands of a multitude of Pagrovians and longtime residents. The City can do better. The City must do better, to maintain its historic character.

Thank you.

Deborah Kenwood
1104 Austin Avenue
Pacific Grove, CA



Everyone's Harvest

Mailing Address: P.O. Box 1423, Marina, CA 93933 • Office Address: 249 10th Street, Marina, CA 93933 Phone: (831) 384-6961 • Fax: (831) 883-3310 • www.everyonesharvest.org

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Wendy Sosa

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Reid Norris

City of Pacific Grove
Community & Economic Development Department
300 Forest Avenue, 2nd Floor
Pacific Grove, CA 93950

Attention: Laurel O'Halloran, Associate Planner
(lohalloran@cityofpacificgrove.org)

April 3, 2018

RE: Final Environmental Impact Report for the Hotel Durell Project

Dear Ms. O'Halloran:

Everyone's Harvest, a 501c3 non-profit organization, operates five certified farmers' markets and is a catalyst for health-related programs across Monterey County. Our mission is to provide access to healthy, affordable fruits and vegetables through certified farmers' markets and community food programs. The Everyone's Harvest vision is for every community to have a fair and sustainable food system. Everyone's Harvest, founded in 2002, takes pride in the growing community of people who value organic food and rely on Everyone's Harvest for access to local fresh fruits and vegetables.

As we stated in our comment letter on the Draft EIR for the Hotel Durell project, an extensive process was led by the City to identify the current market location in 2010. Pursuant to Zoning Code Section 23.64.055, a Use Permit was issued to Everyone's Harvest on June 16, 2008 and amended on June 3, 2010. The Use Permit specifies that the Farmers' Market be held weekly on Monday afternoons throughout the year at the intersection of Grand Avenue and Central Avenue, directly adjacent to the proposed Hotel Durell. Portions of Grand Avenue and Central Avenue are closed every Monday (as required by the amended Use Permit) -- before, during, and after the hours of the Farmers' Market -- to allow for safe and smooth set-up and take-down by the vendors.

Everyone's Harvest had commented that the Final EIR should clearly describe whether the proposed Hotel Durell project would result in a modification of the Farmers' Market Use Permit by displacing the portion of the market on Central Avenue between Fountain Avenue and Grand Avenue, and that if that were to occur, it must not be detrimental to the market capacity or operations. We continue to hold that if any change is proposed to be made to the configuration of the market, a Use Permit amendment would be required. The FEIR made the following response to our comment:

RESPONSE TO LETTER EVERYONE'S HARVEST (EHARV)

Response to Comment EHarv-1

The commenter asks for clarification on whether the project would displace or alter farmers market operations, as the proposed configuration for the market during project operations is unclear. The commenter further states that an amendment to the Everyone's Harvest Use Permit would be required.

Thank you for your comment. This comment does not pertain to the adequacy of the Draft EIR. As noted in Master Response 5: Widening the Sidewalk, the City shall determine whether the farmers market operations need to be reconfigured or moved at a later date.

In our view, deferring such action to a later date, as suggested in the response to Everyone's Harvest comments and in FEIR Master Comment Response #1, Traffic Safety, is not an acceptable mitigation measure or condition of approval. Master Comment Response #1 states:

Development Agreement Provisions

2.0 RESPONSES TO COMMENTS

1. The project applicant shall work with the City's Public Works Department to add crosswalks at the Grand Avenue/Central Avenue intersection and at the Fountain Avenue/Central Avenue intersection. The crosswalks shall be speed tables (raised crosswalks) with crossing lights embedded in the pavement and a pedestrian-activated push button on each street corner. Proposed crosswalk improvements are shown in **Figure 3.4-4 Project Crosswalk Improvements**. The revised figure is presented in **Section 3.0, Amendments to the DEIR**.
2. The project applicant shall work with the City's Public Works Department to install stop signs at the intersection of Central Avenue and Fountain Avenue to make the intersection a four-way stop.
3. The project applicant shall work with the City's Public Works Department to increase the width of the sidewalk along the eastern edge of Jewell Park to approximately 18 feet to accommodate increased pedestrian/vendor activity during special events such as the farmers market.

In addition, the applicant would help the City work with the Farmer's Market organizers to relocate the market. With implementation of these development agreement provisions, project impacts on pedestrian facilities would be less than significant. See Final EIR Section 3, Amendments, for changes to Section 3.4 of the Draft EIR.

It is unclear from the Planning Commission staff report and proposed findings and conditions of approval who has approval authority of the above referenced "Development Agreement" or how it would be enforced. It appears that the public has not been provided with this document. If the "Development Agreement" referenced in the FEIR contains additional measures that serve the function of conditions of approval, it should be appropriately disclosed to the public and included in the proposed action of the Planning Commission. Therefore, at a minimum it should be incorporated by reference in the findings and conditions. The April 5, 2018 staff report includes two further mentions of the Farmer's Market:

Access and Guest Arrival Location

The arrival entry driveway and hotel lobby are proposed to be located off Central Avenue exiting the site onto Fountain Avenue. Short term arrival, departure and luggage loading vehicle parking spaces to accommodate up to six arriving/departing vehicles are provided. This access area was evaluated by the City's traffic engineer and Traffic and Safety Committee. As a condition of approval, the hotel agrees to close the Central Avenue vehicular entry during hours when the Farmers Market is active.

Farmer's Market

Pacific Grove hosts a Farmer's Market every Monday from approximately 2-6pm. The temporary market currently sets up along Central Avenue between Forest Avenue and Fountain Avenue. Due to the project's effect on the Monday afternoon Farmer's Market current location, the Conditions of Approval, the hotel's Central Avenue vehicular access point will be closed during Market hours. A previously discussed widening of a sidewalk adjacent to Jewel Park has been removed from further consideration.

The closure of the vehicular entry during may mitigate some of our concerns, as would eliminating the proposed sidewalk widening. However, the FEIR has not been modified to reflect these proposed changes. The FEIR should be revised to reflect the above statements prior to certification by the Planning Commission. This is particularly important because this project is proposed to go on the City's water wait list and may not be constructed for some time, if approved. It is therefore critical that all documents proposed for approval of the project and certification of the EIR be made clear and consistent to ensure all conditions/mitigation measures would be properly implemented. We want to be assured that a cooperative effort would be made between the City, Everyone's Harvest and the hotel developer during construction and subsequently as needed to implement the weekly closure of the hotel entrance.

Everyone's Harvest desires to continue to work collaboratively with the City for the best outcome, and requests that any changes to the Market follow a community process similar to the one in 2010. Thank you for your consideration of our comments.

Sincerely,



Sarah Hardgrave, President
Everyone's Harvest Board of Directors



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Attention all Planning Commission Members - Hotel Durell Project

Janet Colson <pgdoglover@comcast.net>
To: Lohalloran@cityofpacificgrove.org

Tue, Apr 3, 2018 at 5:51 PM

As a resident of Pacific Gove for over 20 years, I have watched many issues come before both the Architectural Review Board and the Planning Commission. Some of the decisions I have agreed with. Others I have not. But in most cases, I have found the process to be transparent and fair. Regrettably, that is most definitely not the case with respect to consideration of the Hotel Durell project. Published meeting dates have been incorrect. The Environmental Impact Report leaves much to be desired. The meeting agenda for the Planning Commission meeting scheduled for April 5 is too bulky to provide electronically. False claims about available water and parking abound. No story poles have been erected because it's "too difficult" to do so. Seriously??? Is this how "America's Last Home Town" conducts it's business???

It's highly unlikely that any new development in the area behind the Hollman Building will satisfy everyone. There is no doubt that traffic will increase, that parking for those of us who live here will become even more difficult, and that the library and museum will be adversely affected. With the right planning process, however, those adverse consequences can be mitigated, tho never eliminated. Let us not repeat the mistakes that surrounded the infamous decision to build the golf course clubhouse and the subsequent decisions to renege on previous commitments to limit hours of operation and outdoor lighting. Rightly or wrongly, the absence of transparency in those decisions have caused many residents of Pacific Grove to lose faith in their elected representatives.

The City of Pacific Grove has a unique opportunity to work with residents and developers alike to develop the property in question in a manner that preserves the unique character of Pacific Grove. Most importantly, it needs to do so in a manner that is perceived by residents as fair and transparent. Accordingly, I encourage you to send the project back to the Architectural View Board and to require a more open and transparent process from the outset.

Thank you for you consideration.

Janet Colson
907 Ripple Avenue
Pacific Grove



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Planning Commission Meeting/April 5, Agenda Item 8

John Moore <jmoore052@gmail.com>

Tue, Apr 3, 2018 at 2:52 PM

To: Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

To: The Planning Commission:

I join in the presentation by Anthony Ciani regarding the proposed Durrell Hotel.

My own view is that the proposed hotel is flat out ugly and too dense for the small parcel. In my time, only the Jack Tar hotel in San Francisco can match the Durrell for vulgar taste.

The parking for the hotel is so inadequate that the hotel will use at least 150 current public parking venues nearby, creating a virtual parking war.

The traffic study relied upon by the applicant, is at least 250 trips a day shy of reality. A 125 room hotel and related activities requires over 300 parking spaces, unless decimating current public parking is ok with this commission.

The project is a "beast" for this special location. As designed it will create monumental parking and traffic emergencies. It will be a monument to this era of corruption at city hall, where every action is motivated by greed for staff raises and the creation of multi-million dollar pensions.

The Pacific Grove government's reputation for corruption is known state-wide because of its creation of annual pension costs and debt that is the highest in the state.

The reason that the City planner is pushing for approval of this project and its outrageous density is to provide revenue for future salary increases and pensions for city staff. No neutral planner could recommend this project.

John M. Moore, (retired lawyer and developer).

Name: Lisa Ciani
Email: lisa.ciani@gmail.com

Message:

Dear Planning Commissioners,

Based on the City's story pole policy (attached), I request that today's hearing of the Hotel Durell project be postponed until after story poles are in place.

My comment to City Council yesterday evening is included below. The City Attorney noted that I should take the matter to the Planning Commission. The Mayor said, "We can note it and pass the word on." I have already included my concerns about the absence of story poles in my comment to Planning Commission yesterday, in my comments to the ARB, and in my comments for the past year to the planning staff/consultants for the MND and draft EIR for the project. I am attaching here the City's story pole ordinance which I was able to track down last week, and which I believe planning staff and possibly the City's building official have failed to uphold.

There is no evidence in the record that Planning Commission has taken an action to grant relief from story pole requirements in this case, and I do not believe there is any basis for granting relief. (I understand that another member of the public provided evidence yesterday that installation of story poles by a licensed, bonded, and insured company at the Hotel Durell site is both practical and feasible.) I urge you to postpone the Hotel Durell hearing until story poles are in place so that Planning Commission, staff, and the public have the opportunity to view the real-life effects of the height, mass, and bulk of the project that would assist in making an informed decision.

Thank you,
Lisa Ciani

My comment to City Council:

The City has a story pole policy that was approved as a Council resolution in 2006 and is included in the planning division's submittal checklist. That policy has been applied to a number of projects recently-but NOT to the two large 4-story commercial projects that have been presented to ARB in the last 3 months. The CEDD Director credits the City Building Official for the decision not to require story poles, for the currently postponed project at 522 Lighthouse across the street from the theater, and at the Hotel Durell site across the street from the Library, Museum, and Jewell Park, scheduled to be heard tomorrow. NO written justification of that decision has been made available to the public.

The story pole policy states in section 3, and I quote:

"Netting shall be in place at the time the public notice [is] posted. If a project requires environmental review, netting shall be in place before the public review period begins."

And in section 7, the policy states, "In RARE cases where the size or position of a proposed project renders this netting procedure infeasible, applicants may seek relief and directions for effective alternatives from the Planning Commission."

HAS the Planning Commission granted such "relief" to the proposed tall, bulky commercial buildings? I haven't seen that item on their agendas. And WHY has the Building Official determined story poles to be infeasible on both of

these projects? Engineers and contractors throughout the state provide story poles in similar circumstances without interfering with current use of the property.

As a result of what appears to be a failure to enforce the story pole policy, decision makers, staff, and the public are being deprived of the opportunity to view the real-life effects of the proposed buildings' height, mass, and bulk that would assist in making informed decisions.

I respectfully request that Council direct staff to enforce the story pole policy for all applicable projects going forward. And I request that Council direct staff to provide the public with written evidence of the Building Official's determination of the infeasibility of story poles on the two projects under consideration, and written evidence of the Planning Commission's granting of relief. If there is no convincing evidence of infeasibility, I request that tomorrow's hearing be postponed until after story poles are in place.

Thank you.

Attached File:

<https://www.cityofpacificgrove.org/sites/default/files/webform/planning-commission/Story%20pole%20policy%20resolution%206-023.pdf>

Submitted on Thursday, April 5, 2018 - 10:56 am

04-03-18

RECEIVED
APR 03 2018
CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

To the Members of the Pacific Grove Planning Commission
For the Thursday, April 5th Meeting on the Proposed Hotel Durrell

Dear Members:

I continue to have several concerns about the proposed Hotel Durrell
(as in my letter of January 30, 2017.)

Tourism continues all year round, not restricted to a 3 month period.
It is increasing all the time.

With water shortages continuing there is not extra water needed for
hotel, spa and pool.

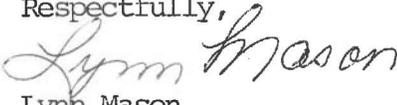
Increased traffic in the evening at rush hour on the two exits out of
town is significant when we often have grid lock now. The DEIR minimized
the importance of this.

Parking would be an even bigger problem. The lot across the street on
Fountain Avenue which is planned to provide 28 additional valet places is
currently filled up -- without the hotel using it. How would this work?
When we do not have good public transportation, planning one parking place
for every 4 rooms is completely inadequate. We need to plan one parking
place for each room.

I have great concern for the elderly patrons of the library, who would
find loss of parking near the library very difficult. Many of the elderly
are at the library every day. This would add difficulty to them both as
pedestrians and drivers.

The proposed hotel is (and I quote Jeffrey Becom) "out of character in
style and scale of surrounding historic structures. This is an historic,
low rise, very public area at the center of Pacific Grove civic life." The
proposed hotel would dwarf the Library, Museum and homes in the area. It
is too massive for our beloved small town.

Given the importance of the project, more time is required for the public
to study the Final EIR. I was unable to go over all of it in the time allowed.

Respectfully,


Lynn Mason

P.O. Drawer 9

Pacific Grove, Ca. 93950

(831) 372-8897

APR 09 2018

04-06-18

Pacific Grove Planning Commission

CITY OF PACIFIC GROVE
COMMUNITY DEVELOPMENT

Dear Members:

Re: Hotel Durell

Following is the text of my three minute comments at your meeting of 04-05-18.

I have several concerns about the proposed Hotel Durell.

Tourism is not restricted to a three month period as in the EIR. It is all year long and increasing all the time..

With water shortages continuing there is no extra water for the hotel.

Increased traffic in the evening at rush hour on the two exits out of town is significant when we often have grid lock already. The EIR minimized the importance of the rush hour traffic.

Parking would be an even bigger problem. The lot across the street on Fountain Avenue which is planned to provide 28 parking spaces is currently filled up - without the hotel using it. How would this work? When we do not have good public transportation, planning one parking space for every four rooms is completely inadequate. We need to plan at least one parking space for each room.

I have great concern for the elderly patrons of the library, who would find loss of parking near the library very difficult. Many of the elderly are at the library every day. This would be hard on them both as pedestrians and drivers.

Given the importance of the project, more time is required for the public to study the Final EIR. As a noncomputer user I went to the library on Monday to read the hard copy - 1,000pages, and it wasn't there. I then went to City Hall and studied it - till Noon - closed for lunch. Tuesday morning I returned. (I had a Tuesday 5 p.m. deadline to get my letter in, in time for the Thursday meeting.) I was then told a copy was now in the library, two days before the meeting. I was unable to go over all the material in the time allowed.

The proposed hotel is (and I quote Jeffrey Becom, a long time resident of Pacific Grove who has been both on the Architectural Review Board and the Historical Resources Committee) "out of character in style and scale of surrounding historic structures. This is an historic, low rise, very public area at the center of Pacific Grove civic life." The proposed hotel would dwarf the library, Museum and homes in the area. It is too massive for our beloved small town.

The following paragraph I neglected to mention at your Thursday night meeting:

Many Pacific Grove residents who will be adversely affected by this gigantic building are unaware of the proposed Hotel Durell. Where are the story poles that would have alerted the whole community because it is across from the widely visited library?

Please consider my comments. Thank you.

Respectfully,

Lynn Mason

P.O.Drawer 9
Pacific Grove, CA 93950

(831) 372-8897



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Hotel Durell

1 message

java gypsy <sweetjavagypsy@yahoo.com>
To: lohalloran@cityofpacificgrove.org

Mon, Apr 2, 2018 at 8:22 PM

I would like to voice my concern about the proposed Hotel Durell. I'm in this area daily and can only imagine the change a hotel will make. Even with underground parking the coming and going of visitors will make this area of town a nightmare.

Getting to the library will be congested more than the narrow streets can handle. It will eat up parking on the street, cars and trucks and campers will be pulling in and backing out into the local comings and goings making the peaceful trips to the library and museum somewhere to avoid. I realize the city wants to make money but at what cost. This won't draw more business downtown it will chase customers away.

I think you should rethink the negative impact and put it to the citizens that live here all year round to decide.

Sincerely,
Mary Johnson



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Durrell Hotel

1 message

MATT MANSFIELD <mnsfld@prodigy.net>

Wed, Apr 4, 2018 at 8:50 AM

Reply-To: MATT MANSFIELD <mnsfld@prodigy.net>

To: "Lohalloran@cityofpacificgrove.org" <Lohalloran@cityofpacificgrove.org>

As a long time resident of Pacific Grove I am greatly concerned about the "rush" to approve this monstrosity of a hotel yet I see it happening....beauty takes a back seat to money again and again. I feel ashamed that this is happening in my home town.

Sincerely yours,
Jean Mansfield



Virus-free. www.avast.com



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

RE: April 5th, 2018 Planning Commission Meeting, Agenda Item 8-A, Hotel Durell

1 message

Sally Aberg <forthecolors@comcast.net>
To: Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Wed, Apr 4, 2018 at 12:46 AM

Laurel, could you please forward this to all Planning Commissioners in advance of the Thursday meeting, and kindly confirm its receipt as well? Thank you very much.

Chairperson Bill Fredrickson and All Members of the Pacific Grove Planning Commission:

I no longer reside in Pacific Grove. However, I still co-own a home in the Retreat; and I still care deeply about my former neighbors, my long-time neighborhood, and the history of this unique seaside town.

The proposed Hotel Durell is not simply a "Retreat" problem. In my opinion, the impact of Hotel Durell is so monumental that a transparent City would have felt duty-bound and conscience-driven to "Special Notice" each and every address across the whole of Pacific Grove about both last week's Architectural Review Board hearing and this week's Planning Commission hearing.

But our City Powers did nothing of the kind. Neither did they require the developer of one of the largest new developments in PG history to erect story poles and netting.

Why have there been no story poles or netting to represent a true sense of the size and bulk of Hotel Durell? Because according to our Community and Economic Development Department, it would be "difficult" for the developer to erect this critical "visual"—a "visual" that all other developments in our City are required to

put up, large or small. Will you Commissioners allow the CEDD to get away with this?

Those like me who oppose the proposed Hotel Durell are not resisting a hotel. We are not resisting commercial development. We are not resisting a tall building. We are resisting a bad project whose design and intentions fly in the face of everything that Pagrovians have held sacred through our votes and through years and years of serving on boards, committees and councils to finely craft and then protect policies, codes, and other city legislation that speak volumes about who we are as a City—and specifically, what residential, historic, and environmental priorities we desire to uphold.

The proposed Hotel Durell project is too large and too massive.

The architect has made a pretense of incorporating historic elements from neighboring buildings into its design.

The developer has been granted many free passes already, despite the fact that this gentleman has never shown respect for Pacific Grove's concerns or priorities—case in point, his long-time under-utilization of our town's anchor building.

This project has been afforded undeserved acceleration through a process that requires time to get it right.

It is illogical to put the cart (approval of this project) before the horse (available water).

And yes, I abhor the utter trampling upon the Environmental Impact Report process that this project has flaunted, and the many carefully honed City codes and policies that it is managing to subvert.

If you Planning Commissioners decide to:

(a) approve the demolition of the existing single-story building on the site (a building whose architectural history as PG's first automobile showroom was *proven* by the City's own Historic Review Committee to remain intact); and/or if you

(b) certify the Environmental Impact Report (the report that one local attorney calls "the most deficient EIR she has ever read"; and/or if you

(c) approve the hotel as it is currently sized and designed...

...then I believe your names will go down in the annals of Pacific Grove history as the folks who together made an irrevocable error, a mistake second only to the one made by the planning commissioners who voted to allow the First Methodist Church on Lighthouse Avenue to be razed to the ground several decades ago.

If you Commissioners are going to be the final body to review Hotel Durell, then I plead with you to remember the power for good that you hold in your votes.

After carefully reading the EIR, can you honestly say that it addresses with reasonable mitigations the dozens of real concerns that residents raised?

If the almighty TOT that this project dangles is just too tempting (the money from which will come "too little and too late" for Pacific Grove's financial straits, tinkering as we are on the edge of bankruptcy), please at least seize this review opportunity to ensure that developer Nader Agha's feet be held to the fire as regards the size and height of this massive, overstuffed, out of character, four-story rectangle that he aims to plop down in the heart of PG's most historic district, adjacent to our treasured Jewell Park and Farmers Market corridor, right across the street from our Carnegie Museum, and overshadowing our Carnegie Library.

Please make certain your motion to approve includes your future review of a revised design that incorporates the recommendations made last week by the Architectural Review Board members (i.e., significantly stepping back the building from the sidewalks on three sides, stepping back the upper floors for a more articulated skyline, and reducing the number of hotel rooms while increasing the number of required parking spaces to adequately meet present-day needs.

A Hotel Durell in its current size, height, and design will change *the face, spirit, and soul of Pacific Grove*—and *every resident's quality of life and every visitor's experience of Pacific Grove*—forevermore.

Thank you.

Sally Aberg

Co-owner of 116 13th Street,

Pacific Grove

April 3, 2018

Chairman Bill Fredrickson & Members of Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

Re: April 5 Agenda Item Hotel Durell

Dear Chairman Fredrickson and Planning Commission Members:

I want to express concerns regarding the proposed Hotel Durell project. As the Architectural Review Board (ARB) determined, the currently envisioned Hotel Durell is too large and intrusive a project for the heart of Pacific Grove. The proposed project places too great a burden on the historic, residential and coastal zones of the town. Moreover, the developer should be required to install story poles and netting so that all persons who use that area are can judge the height and mass of the current proposed hotel (and any revised plan) and thus get a better understanding of how it would overshadow and interfere with the character and utility of the area.

The proposed four-story hotel with 125 rooms will literally and figuratively overshadow the historic Carnegie Library, Jewell Park and the Museum, which are the heart of Pacific Grove. Several historic churches and Greenwood Park open space are also a few blocks away. The hotel will also bring more traffic than that already crowded area can manage, particularly as it envisions not only hotel guests and the necessary staff but also meeting rooms, special events and a restaurant. The proposal does not provide enough parking for all the people that will be drawn into the area and the overflow would crowd residential streets and the Coastal Zone, which are already overburdened, particularly on weekends and during numerous special events. Also residents and visitors to the Holman Building condominiums will draw in more traffic and need for parking once it opens.

The ARB has requested that the hotel plans be scaled back on three sides, but how that will be interpreted and whether a new proposal will take into consideration the many concerns of citizens who frequent the area remain to be seen. Not only would a large, generic looking hotel ruin the visual character of that area and degrade the historical residential areas, it would also increase the noise levels not just during the anticipated 18 months of construction but for the lifetime of the business. A hotel of that size with an outdoor pool, etc. will add the noise of many more vehicles (including staff and delivery vehicles). Also the influx of vehicles in a crowded area will add to public safety concerns particularly given the number of library and museum visitors crossing Central Avenue.

Thank you for your consideration.

Sincerely,
Sarah Diehl
[431 Spruce Ave, Pacific Grove, CA 93950](mailto:Sarah.Diehl@cityofpacificgrove.org)



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Concerns about Hotel Durrell Project - attention All Planning Commissioners

Will Siegfried <willmsieg@gmail.com>
To: Lohalloran@cityofpacificgrove.org

Tue, Apr 3, 2018 at 8:56 PM

I have lived in Pacific Grove over two decades and this project is about the worst conceived that I can recall. My objections are;

Depositing a building of this bulk in the middle of town will destroy the aesthetic connection of land and bay which has made our town famous as a relaxed, scenic place to visit;

Traffic on Central will be immensely increased, obstructing and complicating even simple local trips for the local population;

Burgeoning population of cars for service personnel and guests - their vehicles will not stay in parking spots or garages but will circulate and clog our streets;

Sources for water and acceptability of the effluent from such an enterprise are sketchy - there is no coherent plan for sourcing water - **hope is not a strategy** - and our sewer system has needed upgrading for the local population for years - why deliver it to a new hotel?

All of the above considerations will not only be difficult for locals but for tourists as well, on whom Pacific Grove depends for part of its income. Do we want Pacific Grove to be known for gridlock traffic and frustration? There is already adequate hotel, motel, and VRBO space to accommodate everyone - there is no need for this hotel.

Finally, and I want to make this clear - I am not opposed to tourists visiting. However, I do not want my town to become another cutesy, boutique destination for temporary visitors; this project risks changing a community identity and dynamic that has been our pride for years. Once built, this structure will be permanent - it is important to reflect on long-term effects on our patrimony.

Sincerely,
Will Siegfried
407 17th Street

Jane Haines

601 OCEAN VIEW BOULEVARD, APT. 1, PACIFIC GROVE, CA 93950

janehaines80@gmail.com

TEL. 831 375-5913

April 3, 2018

Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

Re: April 5, 2018 Agenda item 8a - "Joint Architectural Permit and Use
Permit Application No. AP/UP 16-203" - Hotel Durell

Dear Planning Commissioners,

I would have liked nothing more than a lawful process leading to approval of a tasteful hotel on the project site, because I think Pacific Grove would benefit greatly from a hotel there. However I've been shocked by what I've witnessed, including the most informationally-deficient environmental impact report (EIR) I have ever seen and procedural issues in direct conflict with the Pacific Grove Municipal Code (PGMC). I request you not to approve the project until the City brings the following into compliance with the law:

- **ARB recommendation ignored.** The Architectural Review Board (ARB) on March 27 unanimously passed a motion for modification of the architectural plan. ARB member Gunby stated at 1:32:39 on the audio of that meeting [<https://www.cityofpacificgrove.org/about-city/boards-commissions/architectural-review-board>]: "I'll move that we send this project to the planning commission with the recommendation that we...that massing be reduced on the project on all three...at least all three sides...on Fountain, Grand and Central..I think it's pertinent too that we....as was brought up...this is part of my motion....that the City Attorney review the two letters as was noted to see if there's any kind of a CEQA issue there. And then I'd also...can I add a personal thing that's not part of the proposal? Or should I do that later?" [Unidentified voice recommended he do that later.] "So that's my motion." Chair Sarah Boyle stated at 1:34:39: "Member Gunby recommends that we forward this along to the planning commission with the condition of reducing the massing on all three sides - not the rear - and have the City Attorney review the EIR, the two comment letters from Miss Haines, and maintain the existing parking spaces." After that, the ARB voted unanimously in favor of the motion.
- **Agenda report recommendation is for a void act.** The agenda report, page 1, recommends the Planning Commission: "APPROVE AP/UP 16-203 pursuant to PGMC 23.70.060(c) (1) and 23.70.080." Such an action would violate PGMC 23.70.060(c)(1) which authorizes the ARB, **not** the Planning Commission, to

approve an architectural permit. PGMC §23.70.080 authorizes the Planning Commission, **not** the ARB, to approve a use permit. Thus, the Planning Commission cannot approve a “joint” architectural/use permit. Furthermore, the agenda report, page 2, states the “Project Description” is “Joint Architectural Permit and Use Permit Application No. AP/UP 16-203.” The Pacific Grove Municipal Code (PGMC) does not authorize issuance of a “joint” architectural and use permit. The act of approving AP/UP 16-203 would be void since no applicable law authorizes it.

- **Planning Commission approval of Condition of Approval #14 would be unlawful.** Condition of Approval #14 on page 12 of the agenda report states: “Development of the site shall conform to approve [sic] plans for ‘Hotel Durell’ dated September 9, 2016, on file with the Community and Economic Department and to the Building Code, with the exception of any subsequently approved changes.” Since the ARB was created by ordinance to grant architectural approval where required by City zoning laws in order to promote the orderly and harmonious development of the City and to protect the City’s architectural heritage, and since the ARB has sole jurisdiction to issue an architectural permit, and because the ARB’s March 27 recommendation to decrease the massing on three sides shows the ARB considers the September 9, 2016 plans contrary to the orderly and harmonious development of the City, Planning Commission approval of Condition #14 would purport to override the ARB recommendation, which PGMC does not authorize the Planning Commission to do.
- **Project approval at this time is premature.** The ARB recommended changes that would likely lead to reduced square footage, lesser number of rooms, different building configuration, changed elevations, differing site plan and therefore an altered project description. Despite that, the April 5 Planning Commission hearing is scheduled only ten days after the ARB hearing even though no changes whatsoever have been made to the project description in the EIR nor does anyone know what the redesigned project would be. The California Environmental Quality Act (CEQA) requires that “an accurate, stable and finite project description is the *sine qua non* of an informative and legally sufficient EIR.” *County of Inyo v. City of Los Angeles* (1977) 1 Cal.App.3d 185, 192-193. The Draft EIR project description (DEIR pages 2.0-2 - 2.0-24) describes a design that is no longer under consideration, and the replacement design has not been disclosed. Proceeding with project approval at this time is premature.
- **FEIR responses to comments are legally inadequate.** The EIR cannot be certified in compliance with CEQA for numerous reasons, including that responses to comments are legally inadequate.

For example, the FEIR responds to my comment #1 at Final Environmental Impact Report (FEIR) page 116 of the agenda report in a conclusory manner unsupported by substantial evidence, even though I provided the last names of 42 persons commenting unfavorably on the hotel design, including a licensed architect, as evidence the project’s adverse aesthetic impact is potentially significant. The

response to comment #1 on agenda report page 124 violates CEQA Guideline §15088(c) which states: “The written response shall describe the disposition of significant environmental issues raised (e.g., revisions to the proposed project to mitigate anticipated impacts or objections). In particular, the major environmental issues raised when the lead agency's position is at variance with recommendations and objections raised in the comments must be addressed in detail giving reasons why specific comments and suggestions were not accepted. There must be good faith, reasoned analysis in response. Conclusory statements unsupported by factual information will not suffice.”

Similarly, the FEIR responds on agenda report pages 124 and 32 to my comment #2 at FEIR pages 116-117/120-122. I supported my comment with photographs and measurements, however it was responded to with the conclusory claim that “the 18-foot sidewalk widening would not impact resources of concern [...because] before the sidewalk is installed, the City will determine whether the farmers market operations need to be reconfigured or moved.” The response assumes determination about whether or not the sidewalk needs to be widened can be deferred until after project approval. It ignores the potentially significant environmental issues shown by my measurements, photographs and explanation, and it provides no authority that CEQA allows deferral of such a determination.

- **Last-minute addition of conditions of approval #6 and #8 require CEQA review for cumulative impacts.** The agenda report, page 12, adds Condition of Approval #6, to state the “hotel will close one of its two entries into the hotel lobby every Monday between the hours of 1 and 5 PM during the time of the Farmers Market.” The last-minute addition of this condition raises such issues as how and where people will enter and exit the hotel lobby during these four hours? Will the relocated entrance be in a safe place that will not interfere with either pedestrian or vehicular traffic? Will it necessitate directional signs that could interfere with scenic vistas? Can the farmers market get set up and taken down within a period of four hours, or would it take longer? Addition of Condition of Approval #6 creates a cumulative impact from the Hotel Durell project that had no CEQA review for its potential environmental impacts. In *Whitman v. Board of Supervisors* (1979) 88 Cal.App.3d 397, the court found inadequate the subject EIR’s discussion of cumulative impacts, which lacked “even a minimal degree of specificity or detail” and was “utterly devoid of any reasoned analysis.” Proposed Condition of Approval #6 received no CEQA review whatsoever for its potential cumulative impact on hotel guest and pedestrian safety and aesthetics.

Another last-minute addition is Condition of Approval #8, that employee parking will be restricted to the Lighthouse Theatre Municipal Parking Lot. Had that been mentioned in the Draft EIR, it could have been evaluated for its potential cumulative impact of hindering the potential development of that parking lot for other purposes, including affordable housing, and whether it would eliminate currently-available parking spaces from that lot. Condition #8 has potentially significant cumulative impacts which require, but have not had, CEQA analysis.

- **Coastal Commission consultation about Jewel Park proposal is required by CEQA Guideline §15378 and Public Resources Code §21080.3.** The project’s environmental review has been based on a non-CEQA-based definition of “project.” The CEQA definition of “project” in Guidelines §15378 states that “‘Project’ means the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment,” and that “the term ‘project’ refers to the activity which is being approved and which may be subject to several discretionary approvals by governmental agencies. The term ‘project’ does not mean each separate governmental approval.” Thus, the claim on page 36 of the agenda report that “The project is not located in the Coastal Zone” is flat-out wrong because the “project,” as described on page 36, requires widening the Jewell Park sidewalk, and Jewell Park is in the Coastal Zone. Thus, since the Coastal Commission would need to issue a Coastal Development Permit for the sidewalk widening, the Coastal Commission is a “responsible” agency, which Public Resources Code §21080.3 requires be consulted: “Prior to determining whether a negative declaration or environmental impact report is required for a project, the lead agency shall consult with all responsible agencies and trustee agencies.” The City did not consult the Coastal Commission, insists it does not need to, and thereby violates Public Resources Code §21080.3, even though the City now claims it won’t need to widen the Jewell Park sidewalk because of Condition of Approval #6 on page 12 requiring the hotel to “close one of its two entries into the hotel lobby every Monday between the hours of 1 and 5 p.m. during the time of the Farmers Market.” Presumably this refers to its entrance on Central Avenue, although that too is unexplained.

My October 4 and October 16, 2017 letters at agenda report pages 116-131 **quoted** the law in my futile attempt to convince the City it needed to approach CEQA requirements differently. I wasn’t merely offering advice or opinion, but **quoting** actual law. It didn’t work. My hope now is some planning commissioner will google such matters as “Pacific Grove Municipal Code section 23.70.060,” or “CEQA Guideline 15088” or “Public Resources Code section 21080.3” and hopefully thereafter say to fellow commissioners, “guess what, those laws she references really do say what she says they say.”

Sincerely,

Jane Haines
California State Bar no. 126751

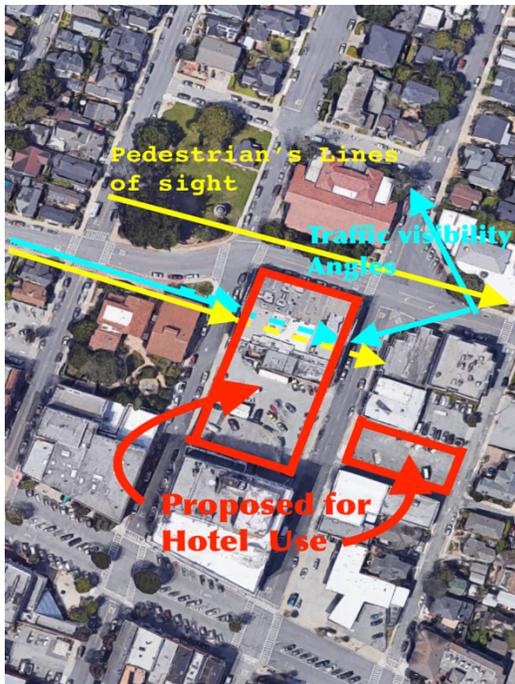
April 3, 2018

Chairman Bill Fredrickson and Members of the Planning Commission
RE: April 5, 2018 Item 8a – Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

Page 4

Please consider an alternative project with no more than 3 stories, fewer rooms and less volume (mass), set back from Central Avenue to allow better much visibility for pedestrians and traffic. It must provide a “sense-of-place” compatible with the established open garden and plaza spaces in the existing neighborhood setting (Library, Museum and Jewell Park).

Sketch No. 1 below (left) indicates pedestrian lines of sight in yellow and existing traffic-visibility angles in blue lines. Note, the Holman Garage building substantially blocks the east-west lines of sight along the south side of Central Avenue. Compare to the Historical Context Map, page 2.



Sketch No. 1



Sketch No. 2

Sketch No 2 above (right) depicts an alternative layout with a meaningful setback on Central Ave. to provide a quasi-public garden space in front of the hotel that would open the east-west line of sight for safety and visual quality. This concept would expand the public plaza to improve the openness by eliminating the existing crowded street front on the south side of Central.

- The current hotel design includes an interior garden area: this could be reduced to allow for an exterior garden similar to the garden area that was part of the historical context of the El Carmelo Hotel is specifically referenced in hotel Ordinance No. 1951.
- The garden could be for hotel use while at the same time reflecting the openness of the Library and Museum garden areas. Reducing the number of rooms in the hotel would help minimize the mass but provided the size of the remaining rooms does not increase.

April 3, 2018

Chairman Bill Fredrickson and Members of the Planning Commission

RE: April 5, 2018 Item 8a – Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

Page 5

- The architectural style is, in my opinion, too “busy” and “cute”, and it does not relate to the surrounding architectural character. It imposes an out-of-character genre jarring to the overall composition of Pacific Grove’s eclectic architectural base.

In conclusion, the Final EIR must consider all reasonable alternatives to the proposed project, and you must make findings based on the evidence in the record including the recommendations by the ARB and public input. CEQA “§ 21002. APPROVAL OF PROJECTS; FEASIBLE ALTERNATIVE OR MITIGATION MEASURES *The Legislature finds and declares that it is the policy of the state **that public agencies should not approve projects as proposed if there are feasible alternatives or feasible mitigation measures available which would substantially lessen the significant environmental effects of such projects**, and that the procedures required by this division are intended to assist public agencies in systematically identifying both the significant effects of proposed projects and the feasible alternatives or feasible mitigation measures which will avoid or substantially lessen such significant effects.*”

Central to the necessary findings - - that the project is compatible with the surrounding setting and historical context - - is the ability of the decision-makers and public to visualize the potential impacts to the visual quality of the established neighborhood. This includes their ability to observe project story poles and netting as prescribed by City Resolution. Violating the Resolution, the City has failed to enforce the adopted story pole and netting requirements that would have provided full-size, systematic assessment of the project’s proposed bulk and mass in relationship to the surrounding neighborhood. Architectural renderings **cannot** convey the association and feeling of a potential project’s proportions as seen in real life. Despite the many EIR commenters’ expressions of concern regarding how the height and mass of the proposed project would impact the City’s historic context, no poles were erected. There is no evidence in the record nor a valid reason why installation of story poles at this site was not accomplished prior to the Draft EIR or public hearings on this matter.

The rumor that story poles could not be installed due to the sites physical characteristics is not supported by the methods practiced throughout the California’s municipalities. My professional experience includes meeting rigorous standards, for example, in the coastal City of Del Mar where building in the natural terrain and built environment demand careful and detailed analyses. For the record in the present case, story poles are feasible - - I requested the assistance of Coastline Story Poles whose bylines is: “*Your job will be completed accurately and on time. We are licensed, bonded and insured. No job is too big or too small*”. Within an hour, they provided me with a proposal for \$8,950.00 to install story poles at the Hotel Durell site that would not interfere with the continued normal use of the site.¹

I request you require the proposed hotel meet local and state laws. *Respectfully, Tony Ciani*

¹ “it includes installation, maintenance, and removal. Please confirm receipt of this email and feel free to provide some feedback. Thanks for the opportunity to bid on your project. Installation would take 2ish days. Full payment upon completion. Everything could be installed allowing the current property uses to continue as normal.” Rutherford, Coastline Engineering and Development.

■ Anthony A. Ciani 220 Walnut Street Pacific Grove, California 93950
ARCHITECTURE - PLANNING - HISTORIC PRESERVATION - COASTAL CONSULTANT

April 3, 2018

Chairman Bill Fredrickson and Members of the Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

RE: April 5, 2018 Item 8a Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

Dear Chairman Fredrickson and Planning Commissioners:

The Architectural Review Board voted unanimously to recommend to you that the building mass of the proposed hotel be reduced on 3 sides - Central, Fountain and Grand Avenues. The ARB's vote to reduce the development's bulk is supported by a preponderance of public opinion expressed in more than 50 letters from citizens during the year-long environmental review. Their concerns about the project's potential significant adverse impacts to the neighborhood's visual quality and future cultural uses were shared by the public comments at the ARB meeting last week. The ARB's decision is also consistent with the zoning ordinance Floor Area Ratio (FAR) requirements in MC Section 23.31.040 and General Plan Section 2.15.3, that allow a 2.0 FAR for the C-1-T zone. The Allowable Maximum FAR for the subject property is: $2.0 \times 33,875 \text{ S.F.} = 67,750 \text{ GSF MAXIMUM}$. Hotel Durell's proposed floor area is 83,990 GSF, or **16,240 GSF (24%) above the maximum allowable size.**

The recommendation by the ARB to reduce the building mass is also supported by the written evidence in the record:

- "The C-1-T zoning district that was created through an approval of Ordinance 1951 by a public vote of Pacific Grove citizens on June 7, 1994. (Source - - April 5, 2018 Planning Commission Agenda Report, Item 8a (page 2))
- "Hotel use on the block bounded by Lighthouse Avenue, Grand Avenue, Central Avenue and Fountain Avenue is consistent with the historic use of this property in that from 1887 to 1918 a 3-story, 114 room hotel, know first as the El Carmelo Hotel and later as the Pacific Grove Hotel, was located on this site. (Source - - Ordinance No.1951, April 5, 2018 PC Agenda Report, Item 8a (pages 1099 -1101))
- "Said regulations and conditions shall include, without limitation, provisions for land area per unit, neighborhood compatibility, architectural review, landscaping, parking, traffic, and accessory buildings." (Source - - Ordinance No.1951, April 5, 2018 PC Agenda Report, Item 8a (pages 1099-1101))
- "Massing and Visual Character - *Project Site Historical Context*. "The hotel building covered the rear two-thirds of the block, with the front third dedicated as a park with a large lawn, paths, and trees." [and] "The building was three stories high plus an attic and contained 114 rooms, broad staircases, an elevator, and many means of exit and entrance." (Hotel Durell Final Environmental Report, February 2018)¹

¹ Hotel Durell Final Environmental Report, by the City of Pacific Grove, February 2018, page 2.0 - 6

April 3, 2018

Chairman Bill Fredrickson and Members of the Planning Commission
RE: April 5, 2018 Item 8a – Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

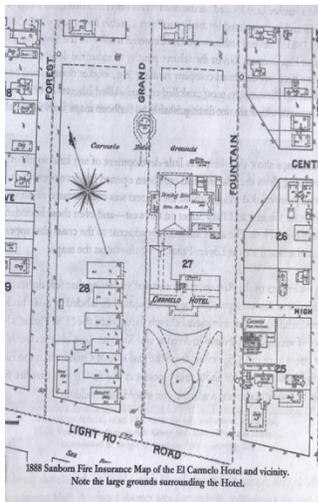
Page 2

The City's Final Environmental Impact Report clarifies the project site's historical context: "*The project site was occupied by a similar use [El Carmelo Hotel], with a similar mass and number of rooms, throughout the establishment and development of the city as it stands today.*" And, that the neighborhood context is defined by the existing architectural scale and styles of the surrounding buildings, i.e., Library and Museum, etc. According to Ordinance No. 1951, the ARB and Planning Commission have the purview and authority to address, "*without limitation, neighborhood compatibility, architectural review, landscaping, etc.*"²

Architectural review of the project's compatibility with the existing neighborhood must be based on the observable characteristics of the surrounding built environment. Ordinance 1951 also specifies, in this instance, a project be compatible with the historical context "*with a similar mass and number of rooms*" as the El Carmelo Hotel, aka the Pacific Grove Hotel. The ARB's recommendation to reduce the mass on 3 sides is therefore consistent with Ordinance 1951. It lacks specificity, however, as to a desirable size, or precise guidelines for determining the compatibility of the proposed hotel, its bulk, scale and the architectural style, or the landscaping.

Consider the City's FEIR example photograph illustrating the historical context in accordance with Ordinance No. 1951.

It has a simple, natural elegance with gracious landscaping.



Historic Context Map 1888

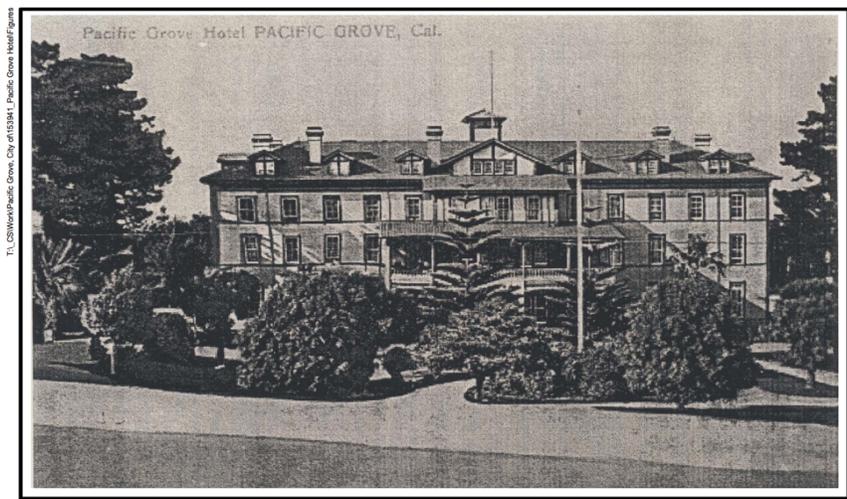


FIGURE 2-1
Historic Pacific Grove Hotel

Michael Baker
INTERNATIONAL

² "*The project would not exceed any of the standards for height or setbacks established by the citizen initiative. Additionally, the project would be subject to the requirements of the City's Use Permit. The project would be reviewed by the Architectural Review Board and the Planning Commission, which may condition the development to modify the bulk and mass.*"(FEIR page 2.0-6)

April 3, 2018

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RE: April 5, 2018 Item 8a – Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

Page 3

In contrast to the historic context recommended in the EIR, the proposed project has the appearance of a generic roadside hotel with skimpy landscaping in the public space.



Proposed Hotel Durell lacks a “sense-of-place”

 HOTEL DURELL - PACIFIC GROVE A.16



Holiday Inn Express



Days Inn

Examples of Generic Roadside Hotel Architectural Styles

I live a few doors down from the proposed hotel on Fountain Avenue and am concerned with hotel visitors/employees parking in front of my home, traffic congestion at the Fountain-Central intersection, disruption of the Farmer's Market. I think the project is too big and will have a negative impact on our neighborhood. As it is now people drive the wrong way down Fountain every day. The signage is not sufficient to alert drivers to our one-way street; a stop-sign to alert them at the entrance to our one-way street with turn-left-only arrows on the roadway would be appreciated.

Check-in times will be especially disruptive. Perhaps another site elsewhere for hotel check-ins so cars won't be backed up on Central/Fountain. Even 2-3 cars in line at the entrance will be disruptive, let alone multiple check-ins at peak times. A small boutique B&B is one thing, a hotel with more staff, amenities and underground parking is something else. Not to mention delivery trucks/linens/food/etc.

Thank you for taking my comments into consideration.

Mrs. Marjory Ingersoll 130 Fountain Avenue, Pacific Grove

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Submission #165

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 3, 2018 - 5:44 pm

50.242.101.133

Your Name

Maureen Mason

Your Email Address

maureen@maureenmason.com

Subject

Item 8a

Message

Dear Planning Commissioners-

Re: Item 8a – Hotel Durrell, 157 Grand Avenue, AP/UP 16-203, Certify EIR proposes a joint Use Permit and ARB permit be approved by the Planning Commission.

I call your attention to the City of Pacific Grove General Plan Chapter 2, Policy 2.

Chapter 2, Land Use

Policy 2 - Ensure that new development is compatible with adjacent existing development.

The proposed Hotel Durrell structure appears to be over-scale and over-massed for its surroundings. The Hotel Durrell scale overwhelms both our Carnegie Library and our Natural History Museum on Central Ave. Both of these notable historic structures create a theme and rhythm for the two blocks upon which they are sited. The last corner on Central which will be overwhelmed by the scale and style of Hotel Durrell is our well-utilized public park with its diminutive gazebo.

Thematically, these two blocks of Central Ave. offer open public gathering places which invite all types of pedestrian access. The well-attended Monday Farmers Market completes the public use of these blocks. Monday afternoons Central Ave. is closed to traffic and offers small scale organic local farmers' produce, local food trucks serving a variety of ethnic cuisines, family and friends gatherings for picnics, and a safe location for children to play in the adjoining park.

The proposed Hotel Durrell is jarringly out of context with this public use by creating disruptive height and no set backs for open space adjacent to the sidewalk. Instead, the proposed project defines the Central Ave side as a good place for cars to enter and exit for check-in of guests. Therefore, children and seniors attempting to get to the Public Library to check out their library books, or families attending Museum classes walking or biking from the east or south will be forced to contend with a plethora of cars.

I encourage the Planning Commission to vote against this project as it currently is presented. We deserve a sensitively scaled and architecturally thoughtful hotel at the site; one which respects the vibrant community streetscape and honors our history.

Sincerely,
Maureen Mason
4/3/18

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Submission #166

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 3, 2018 - 6:08 pm

2602:30a:2c27:d930:f159:968:ff92:cb5c

Your Name

Rick McGarrity & Helen Ogden

Your Email Address

ensaimada@sbcglobal.net

Subject

Development of properties at 522 Lighthouse Ave. and 157 Grand Ave.

Message

April 2, 2018

Dear Honorable Members of the Pacific Grove Planning Commission;

We have serious concerns over the development of the property at 522 Lighthouse Avenue, and at 157 Grand Avenue project. We believe that development of these properties, as proposed, will have long-term negative effects on Pacific Grove that will not be offset by the revenue they might bring into our city.

In a nutshell, the projects are too large for the area. During the summer, and special events on the Peninsula, traffic flow is already 'maxed-out.' Bringing more traffic within these two development areas is going to create traffic chaos for residents and visitors alike. Our businesses do not need people avoiding downtown Pacific Grove because of chronic traffic issues.

Much of Pacific Grove's identity and popularity/draw is a having a 'quaint,' small downtown image. Three and four story sidewalk-to-sidewalk developments that block the sun, sea breeze and bay view, do not fit into our Victorian Home Town image. Even though Pacific Grove has existing

three-story buildings, we feel it needs to stop there. Two stories, or three with sufficient visual setback, should be the new maximum height. Regardless of the architectural style, oversized is still oversized.

A positive image is a fragile image and once lost is almost impossible to recover. Visitors and residents will always flock to the views on Ocean View Drive and Asilomar and we want our downtown to remain an attraction in its own right, not a place to be avoided because it is neither visually pleasing nor comfortably accessible. Please consider whether these two oversized developments will help, or harm, our beautifully unique hometown. We feel they will harm Pacific Grove by changing the quaint character of the city.

Sincerely yours,
Helen Ogden
Rick McGarrity
213 15th Street
Pacific Grove, CA 93950

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 3, 2018 - 6:40 pm

2601:642:c300:a920:c4f0:c1a4:9c98:3224

Your Name

Janet Colson

Your Email Address

pgdoglover@comcast.net

Subject

Hotel Durell

Message

As a resident of Pacific Gove for over 20 years, I have watched many issues come before both the Architectural Review Board and the Planning Commission. Some of the decisions I have agreed with. Others I have not. But in most cases, I have found the process to be transparent and fair. Regrettably, that is most definitely not the case with respect to consideration of the Hotel Durell project. Published meeting dates have been incorrect. The Environmental Impact Report leaves much to be desired. The meeting agenda for the Planning Commission meeting scheduled for April 5 is too bulky to provide electronically. False claims about available water and parking abound. No story poles have been erected because it's "too difficult" to do so. Seriously??? Is this how "America's Last Home Town" conducts it's business???

It's highly unlikely that any new development in the area behind the Hollman Building will satisfy everyone. There is no doubt that traffic will increase, that parking for those of us who live here will become even more difficult, and that the library and museum will be adversely affected. With the right planning process, however, those adverse consequences can be mitigated, tho never eliminated. Let us not repeat the mistakes that surrounded the infamous decision to build the golf course clubhouse and the subsequent decisions to renege on previous commitments to limit hours of operation and outdoor lighting. Rightly or wrongly, the absence of transparency in those

decisions have caused many residents of Pacific Grove to lose faith in their elected representatives.

The City of Pacific Grove has a unique opportunity to work with residents and developers alike to develop the property in question in a manner that preserves the unique character of Pacific Grove. Most importantly, it needs to do so in a manner that is perceived by residents as fair and transparent. Accordingly, I encourage you to send the project back to the Architectural View Board and to require a more open and transparent process from the outset.

Thank you for your consideration.

Janet Colson
907 Ripple Avenue
Pacific Grove

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Submission #168

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 3, 2018 - 7:07 pm

2602:306:ce73:9ce0:7881:c651:4ae0:ab4e

Your Name

Mrs. Marjory Ingersoll

Your Email Address

mitiles@mcn.org

Subject

Additional Comments on 157 Grand Avenue

Message

Re: Excavation for underground parking at 157 Grand.

I live at 130 Fountain and our basement has a sump pump which runs 24-7 during and after the rainy season, and well into the summer months during wet years. As this water flows into my basement from an underground stream coming from the direction of the proposed project, do the engineers for the underground parking excavation have a plan for dealing with underground streams? How will the water be diverted and how will this impact my home.

Re: Noise / Air Quality

Having this project go on 7 days a week for over a year is upsetting. I am a disabled, 75-year old widow who enjoys being outside in my garden every day. I don't want to spend the next year or so staying indoors to avoid the construction noise and possible air quality problems. I can sit in the morning sun on my front porch and hear a pin drop; it's that quiet and peaceful here. Construction starting at 8am-6pm M-S, and 10-6 Sun will be unbearable. All the quiet daylight hours will be gone.

Re: Restaurant Traffic on Fountain Avenue

I am concerned with additional noise/traffic from restaurant patrons parking in front of my house.

Re: Water Concerns

All we've heard about for years in the water shortage. Restaurants and hotels use enormous amounts of water. How can the city justify the water use.

Thanks for taking the time to review my additional comments.

Marjory Ingersoll
130 Fountain Avenue

Attach a File

[Hotel at 157 Grand Avenue.docx](#)

[Previous submission](#) [Next submission](#)

Re: Excavation for underground parking at 157 Grand.

I live at 130 Fountain and our basement has a sump pump which runs 24-7 during and after the rainy season, and well into the summer months during wet years. As this water flows into my basement from an underground stream coming from the direction of the proposed project, do the engineers for the underground parking excavation have a plan for dealing with underground streams? How will the water be diverted and how will this impact my home.

Re: Noise / Air Quality

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Submission #169

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 3, 2018 - 10:10 pm

98.234.46.15

Your Name

alan souza

Your Email Address

alansouza@mac.com

Subject

Hotel Durell

Message

Dear Planning Commission,

I was recently told that you are looking into a 4 story hotel with 125 rooms. This is hard for me to believe, First of all, you just allowed the Holman building to be built, now your are going to shut off their view that people have paid for. The existing property seems to serve the community in many ways that and makes a wonderful place for the Farmers Market. This is what Pacific Grove is. Nice areas for locals and tourists to shape, eat, read and hang out. If you stuff this area full of tourists and parking problems, this will no longer be available for both locals and tourists.

There are houses in our community that have messy yards with lumber, oil cans, gas cans out in the front yard and no one from the city ever bothers to beautiful these places. Instead, you seem to have time to make a monster sore spot in the down town area. Please avoid this mess. You must have spent some time at the farmers market and local stores down there. Haven't you hears that we are called the "Last Small Town", does that not mean anything. Are you really willing to change that? I hope not.

Thanks,

Alan

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Submission #170

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 4, 2018 - 12:06 am

2600:1700:5450:9bf0:494:5cea:f2a4:4f30

Your Name

Anna Leyva

Your Email Address

Annavinh@aol.com

Subject

Durrell Hotel

Message

I am the prospective owner of 131 Fountain Ave PG. I am very disappointed to hear that a 125-room motel within 1 block proximity to my home will be moving into my "small town community". How does this 125-room Durrell Hotel fit into this residential community? There is a community library, small museum and small park accessible to residents which make perfect sense. What does not make sense and does not fit into this picture is the 125-room hotel and the on-going traffic and the revolving door of strangers you are allowing to intrude and disrupt the slow paced and small town quality of life of its children and families. I am moving from San Jose and its frantic pace to PG because I'm tired of the traffic, noise and lack of community. Please consider alternative options before irrevocable loss of community, town charm, safety for our children and residents is permitted by you're committee at the behest of financial gains. Put PG Community and the future of our PG children first.

Regards,

Anna Leyva

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[Home](#) » » [277783](#) » [Submission](#) » Submission #171

Submission #171

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 4, 2018 - 12:28 am

2602:306:cc22:f090:61fb:cd23:8c55:b759

Your Name

Vicki Pearse

Your Email Address

vpearse@gmail.com

Subject

Comments on Hotel Durell for Planning Commission

Message

April 3, 2018

Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

Re:

April 5, 2018 Agenda item 8a - "Joint Architectural Permit and Use
Permit Application No. AP/UP 16-203" - Hotel Durell

Dear Planning Commissioners,

I am increasingly alarmed as you continue to pursue a hasty approval of the proposed Hotel Durell. You have been advised by numerous well-informed residents that your process is deeply flawed, as is the project; this has been documented in detail by, among others, Jane Haines (a lawyer), Maureen Mason (a realtor), and Tony Ciani (an architect). I can only echo their fact-based

objections.

The process has been rushed: The Planning Commission meeting is scheduled only days after the ARB meeting and, as far as anyone can see, is ignoring recommendations by the latter.

The process has been careless: No story poles or netting, required to show the size of the project, were erected. The EIR, the treatment of comments on it, and proposed alternatives and mitigations were grossly and demonstrably inadequate.

The process has been in violation of the City's own rules, set out in the Pacific Grove Municipal Code.

I as a resident and homeowner feel personally at risk from the liability your actions will incur if you approve this project on Thursday.

First, I share the liability if the City is sued.

Second, I suffer the liability of degradation of the quality of life I and other residents and visitors enjoy here.

This site is surrounded by our handsome, historic Museum and Library and lovely Jewell Park. On Mondays, the community gathers at the Farmers' Market.

With some care and attention to these priceless assets, a hotel at this site could become one more asset -- IF it were tastefully designed and landscaped, scaled to fit, and planned with due respect given to its neighbors on all sides and to the residents you on the Planning Commission represent.

I don't see this happening.

I strongly urge you to withhold approval of the proposed Hotel Durell (any approval but especially approval that the Planning Commission is not authorized to give). Table the agenda item. Delay. Re-schedule. Do whatever you must do to avoid the hasty, premature launching of an inferior project that we in this City will live with for decades to come.

Respectfully,
Vicki Pearse

Attach a File

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April 3, 2018

To: Chairman Bill Fredrickson and Members of the Planning Commission

From: Elizabeth Fisher, Resident of the City of Pacific Grove

Re: Proposed Hotel Durrell

The Planning Commission has a unique opportunity right now. By carefully assessing how best to maintain a coherent center to this unique town, this City of Pacific Grove can be enhanced rather than damaged by infill development. I attended the ARB meeting on March 27, 2018 and am concerned that points raised by the public and the ARB in its recommendation may not be fully considered by the Planning Commission.

After much thoughtful feedback was offered, the ARB did ask for modifications in the design, including stepping back the design away from the sidewalk on the three street sides. While the maximum allowed height limit is 40 feet, the ARB and the public both felt the proposed building appears out of scale with the adjacent streetscapes of civic and public assembly buildings. It is too massive and too high for this important historical and civic area. In addition, the community and the Commission definitely need to see “story poles” put in place to make an informed decision.

Will there be a revised design brought to the Planning Commission that incorporates the recommendations of the ARB? This is the only way that these ideas can be fairly evaluated. When the building is stepped back, balconies could also be added to take advantage of the views. These would provide a link to the outdoor nature of the area’s gardens, trees, and landscaping.

Written critiques of the legality and adequacy of the EIR were submitted by a member of public who is also a lawyer. The ARB recommended these brief critiques be reviewed by the City Attorney to determine if the EIR was executed correctly. Will this be done? I certainly hope so. The public needs to be apprised of the findings of this evaluation.

This location is in the historic Residential Retreat Area which is included in the **General Plan**. In Section 1.3.3 Goals, Policies and Programs--Land Use it calls for: Upgrading the appearance of downtown, and other commercial areas, retaining and emphasizing the historical styles. The pseudo-Victorian elements suggested by the design presented to the ARB do not fit the context of the adjacent buildings. The **Historic Context Statement** calls the museum, library and Chautauqua Hall civic and public assembly buildings which have special characteristics and uses. They define this area. Further, all along Central to the East are numerous historical buildings and homes.

The current design does not match in style the existing historical library (Mission Revival) and museum (Spanish Colonial Revival) which are set back from the sidewalk on Central and have beautiful arches and architectural details. The Architectural Review Guidelines also state: "New construction should appear similar in mass and scale to other buildings seen as traditional in the neighborhood." The proposed building is not designed in any recognized style and does not even claim to be which violates these guidelines.

Good design makes use of landscaping. There should be garden space in front of this building of equal size to the ones in front of the museum and the library on Central, visually connecting into Jewell Park as well. Also, some planting should be done on the Grand Ave. side to tie into the Museum which has large native plant and butterfly gardens in both back and front areas. Landscaping should make use of California native plants.

April 3, 2018

To: Chairman Bill Fredrickson and Members of the Planning Commission

From: Robert Fisher, Resident of the City of Pacific Grove

Re: Proposed Hotel Durrell

I am concerned about the traffic impact this oversized structure will create. An analysis was performed finding this building will cause increased traffic on Central, Fountain, and Grand due to hotel visitors, employees, and restaurant patrons, exacerbating current unsafe street crossing conditions at Central Avenue.

The EIR admits there will be increased volume of traffic in the mornings and evenings requiring a complete redesign of the intersection. The report suggests the City should pay 75% of this redesign. Is this a fair use of public funds to support a commercial project?

Central is one of the most heavily traveled streets in Pacific Grove, being one of the main entrances into downtown. Disrupting use of this street to construct a complete redesign of the intersection will throw all traffic during construction onto Lighthouse, increasing hazards there. Redesign of the intersection would also interfere with the use of several public buildings and Jewell Park. Access to residential areas would be disrupted as well.

The best solution is to reduce the size of the project, provide adequate setback, install landscaping to calm the area (a proven side benefit of plantings in congested areas) and work with the existing intersection. In fact, this whole area from Fountain to Forest would make a wonderful public plaza space.

The City's requirements for off-street parking for the hotel are extremely inadequate. One parking space for every four rooms means 75% of the hotel visitors (approximately 94 cars) will have to park on the street when the hotel is at

full capacity. The formula should be at least one space for each room (1-for-1) as is the rule in Carmel and Monterey.

In addition, the parking provided for employees and restaurant and bar patrons who are not staying at the hotel appears quite insufficient, forcing these individuals to compete for street parking in the area. This will make it difficult for patrons using the Library and the Museum to park and certainly will impact parking for residents living in nearby neighborhoods.

The solution suggested is that these people park in the municipal lot behind the movie theater. But disrupting the parking behind the movie house will force those who park there now to move onto the streets in adjacent neighborhoods in that area, increasing the effect of this project on residents there.

If the hotel uses the parking lot across the street (Fountain Ave.), where will the individuals who currently use that lot park? That lot is currently well utilized, so cutting off spaces for patrons of the paint store, credit union, upholstery shop, kid's clothing store, and so on will make it more difficult to shop in this part of downtown. The solution is to reduce the number of hotel rooms to a one-to-one ratio with first floor parking spaces within the development.

In addition, the ARB recommends the project be stepped back significantly on three sides to reduce the mass. The ARB also suggested keeping the increased number of parking spaces even if the number of rooms decreases. This will help considerably with the parking needs of this project.

I have heard that the developer has suggested expanding the width of the sidewalk to 18' along Grand Avenue adjacent to Jewell Park which could require removing the recreation building. This suggestion seems to me to be an encroachment on public space to accommodate a private project. This would also visually degrade the park. This idea should definitely be rejected.

Problems with the architectural design have been covered by others. I agree that the current proposed design is incongruent with the area, a major mistake. We need to maintain and promote the character of this area. This unique quality will attract visitors to the hotel while also preserving the livability of our neighborhoods.

April 3, 2018

To: Planning Commission
From: Lisa Ciani
Re: 157 Grand Avenue, Hotel Durell, Agenda item 8a

PROCESS/NEIGHBORHOOD COMPATIBILITY/CULTURAL RESOURCES/ AESTHETICS/WATER:

The environmental review process for the Hotel Durell project lasted over a year and received approximately 50 written public comments to the draft EIR after a similar number of comments to the MND and the Notice of Preparation, as well as oral comments from a room full of people who attended the Scoping meeting at the Community Center. There is no indication that public comment was given any meaningful consideration, and the numerous significant negative environmental impacts have not been mitigated. The EIR must not be certified.

In all this time, the applicant, architect, CEQA consultants, and even City staff, seem to have gained no sense of the extraordinary sensitivity of the location of the project in the heart of the City's cultural and historic district. The over-sized Holman Building is the standard they choose to adhere to. At the opposite end of the block from the Holman Building, the proposed hotel should seek to be compatible with the Historic Residential and cultural areas that it faces, not with the Historic Downtown, which has a very different character from this location. The hotel site is in an area of civic and public assembly buildings as described in the Historic Context Statement (pages 184-187 and 231-234). The Holman Building is, and should remain, one of a kind.

The design of the proposed hotel fails to respect the existing historical Library and Museum buildings which are set back from the sidewalk on Central with gardens, and have beautiful arches, architectural details and fenestration, and the clean lines of the Mission Revival and Spanish/Mediterranean Revival styles. While Pacific Grove's historic architecture is notable for its variety of architectural styles, this building is not designed in any style that harmonizes with, or complements, the simple dignity of the beloved buildings in our cultural center, as specified in the review criteria in PGMC 23.70.60.e.3. Superior design is exhibited by the Library and the Museum, while the current hotel design resembles cookie-cutter hotel buildings.

In addition to serious architectural design deficiencies, the mass of the proposed hotel needs to be reduced and stepped back significantly, as recommended by ARB, with generous provision of gardens. Besides lovely gardens, there's also a covered portico at the Library with benches, and a plaza with a life-size gray whale model in front of the Museum. But the hotel would be set back from Central only enough to accommodate a driveway and outdoor seating for the restaurant, and it would tower over pedestrians with no setback on Grand and Fountain.

The pool may be of little use to guests—perhaps that's where the architect always puts a pool in his hotels. It appears that the pool will be shaded by the 40-foot walls on 3 sides for most or all of the day in Pacific Grove's already cool climate, while the pool is situated in what may be a wind shaft, oriented to capture the north winds. Should we be squandering water for such an ill-conceived use?

FARMERS MARKET AND LIBRARY

The automobile entrance needs to move around the corner to Fountain Avenue to avoid impacting both the Library and Farmers Market, which are focal community institutions.

PARKING:

I don't see any mention of how many on-street public parking spaces will be lost to accommodate the hotel's entrance and parking garage entrance and egress. The promised 28 off-street parking spaces in the lot across Fountain would displace the cars that fill that lot now on a daily basis, including the 3 spaces reserved for the credit union—those cars would undoubtedly park on the city streets in that area, so it's not clear what is gained by the use of this parking lot. A study should be done to determine how many spaces are available in the parking lot behind the theater, how many will be used by hotel employees, and how that will work. In any case, there are far fewer off-street parking spaces promised by the hotel than there are rooms, so between hotel guests and restaurant diners, there will be serious negative impacts on street parking for the Library and Museum, both during the day and for frequent evening programs.

WHERE ARE THE STORY POLES?!

As a result of what appears to be a failure to enforce the City's story pole policy, decision makers, staff, and the public are being deprived of the opportunity to view the real-life effects of the proposed building's height, mass, and bulk that would assist in making informed decisions. There has been no explanation in the agenda reports for ARB or Planning Commission or in the EIR as to why there are no story poles for Hotel Durell.

I was told by the CEDD Director after the ARB meeting that it was the City Building Official's decision that determined there would be no story poles. The same decision was made for the currently postponed project at 522 Lighthouse, which is also a large 4-story project covering a full block on a major street. No written evidence of those decisions has been made available to the community.

The City's story pole policy, approved by City Council Resolution No. 6-023 on October 4, 2006 (obtained from the City Clerk's office, and also included on the City's submittal checklist provided by staff), states in item 7:

"In rare cases where the size or position of a proposed project renders this netting procedure infeasible, applicants may seek relief and directions for effective alternatives from the Planning Commission."
[Italics added for emphasis.]

What makes this case (and the nearby project on Lighthouse) rare? Are story poles "infeasible" for large, 4-story commercial building projects in Pacific Grove, even though there are engineers and contractors throughout the state who provide story poles in similar circumstances without interfering with the current use of the property, and municipalities of all sizes that require them? Has the Planning Commission granted "relief" from the City's story pole policy requirement? If not, I respectfully request that the Planning Commission require that story poles be provided by the project applicant before hearing the matter.

Thank you for considering my comments.

[Home](#) » » [277783](#) » [Submission](#) » Submission #175

Submission #175

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 4, 2018 - 8:22 am

2600:1700:da90:4a3f:3586:96ae:5320:d164

Your Name

Andrea Carter

Your Email Address

andrea@andreajazz.com

Subject

Hotel Durell

Message

I hope this hotel does not go through. Don't need it. Don't want it.

Attach a File

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[Home](#) » [277783](#) » [Submission](#) » Submission #177

Submission #177

[Resend e-mails](#)

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 4, 2018 - 5:47 pm

2602:30a:2c27:d930:805a:8a7f:3b05:c6do

Your Name

Helen Ogden

Your Email Address

ensaimada@sbcglobal.net

Subject

Poetry

Message

Dear Members of the Planning Commission,

In honor of Poetry Month (April) I respectfully submit the following for your consideration.

Sincerely Yours,

Helen Ogden

213 15th St.

Pacific Grove, CA 93950

EXTENDING THE AIRPORT RUNWAY

The good citizens of the commission

cast their votes

for more of everything.

Very early in the morning

I go out

to the pale dunes, to look over

the empty spaces
of the wilderness.

For something is there,
something is there when nothing is there but itself,
that is not there when anything else is.

Alas,
the good citizens of the commission
have never seen it,

whatever it is,
formless, yet palpable.
Very shining, very delicate.

Very rare.

Copyright 2012 Mary Oliver

Attach a File

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[Home](#) » [277783](#) » [Submission](#) » Submission #179

Submission #179

[Resend e-mails](#)

[Previous submission](#)

[Next submission](#)

Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 5, 2018 - 10:43 am

2600:1700:6afo:e2a0:50dc:c580:279f:c37b

Your Name

Dr. Margaret-Anne Coppernoll

Your Email Address

mcopperma@aol.com

Subject

Hotel Durell on 157 Grand Avenue, Pacific Grove

Message

I am unable to attend the Planning Commission meeting this afternoon, so I am providing my comments electronically.

I strongly support this beautiful proposed addition to Pacific Grove for several reasons.

First, the architectural design is aesthetically pleasing and fits well within the rest of the city's architecture. This hotel will add to the beauty of Pacific Grove and attract people to visit and vacation here. It will be an advertiser's dream.

Second, this hotel will enhance the financial prosperity of the city through increased numbers of visitors who will be staying here, shopping and walking around town, and eating in our restaurants. Many will be coming to attend conferences held in the hotel. The hotel stays will bring transient occupancy tax (TOT) revenue to city coffers, as well as increase foot traffic for local merchants.

Third, Hotel Durell is an exciting project that honors a magnificent long time P.G. resident who contributed her heart and life's energy to this community.

I urge you to recommend that this project move forward to completion

Thank you so much for the wonderful work you are doing for the Pacific Grove Community.

Attach a File

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[Home](#) » » [277783](#) » [Submission](#) » Submission #180

Submission #180

[Resend e-mails](#)

[Previous submission](#)

[Next submission](#)

Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 5, 2018 - 10:56 am

2601:642:c300:9a30:cc69:b920:52e2:13e2

Your Name

Lisa Ciani

Your Email Address

lisa.ciani@gmail.com

Subject

Hotel Durell - Story Pole Policy, Council Resolution No. 6-023, October 4, 2006

Message

Dear Planning Commissioners,

Based on the City's story pole policy (attached), I request that today's hearing of the Hotel Durell project be postponed until after story poles are in place.

My comment to City Council yesterday evening is included below. The City Attorney noted that I should take the matter to the Planning Commission. The Mayor said, "We can note it and pass the word on." I have already included my concerns about the absence of story poles in my comment to Planning Commission yesterday, in my comments to the ARB, and in my comments for the past year to the planning staff/consultants for the MND and draft EIR for the project. I am attaching here the City's story pole ordinance which I was able to track down last week, and which I believe planning staff and possibly the City's building official have failed to uphold.

There is no evidence in the record that Planning Commission has taken an action to grant relief from story pole requirements in this case, and I do not believe there is any basis for granting relief. (I understand that another member of the public provided evidence yesterday that installation of story poles by a licensed, bonded, and insured company at the Hotel Durell site is both practical

and feasible.) I urge you to postpone the Hotel Durell hearing until story poles are in place so that Planning Commission, staff, and the public have the opportunity to view the real-life effects of the height, mass, and bulk of the project that would assist in making an informed decision.

Thank you,
Lisa Ciani

My comment to City Council:

The City has a story pole policy that was approved as a Council resolution in 2006 and is included in the planning division's submittal checklist. That policy has been applied to a number of projects recently-but NOT to the two large 4-story commercial projects that have been presented to ARB in the last 3 months. The CEDD Director credits the City Building Official for the decision not to require story poles, for the currently postponed project at 522 Lighthouse across the street from the theater, and at the Hotel Durell site across the street from the Library, Museum, and Jewell Park, scheduled to be heard tomorrow. NO written justification of that decision has been made available to the public.

The story pole policy states in section 3, and I quote:

"Netting shall be in place at the time the public notice [is] posted. If a project requires environmental review, netting shall be in place before the public review period begins."

And in section 7, the policy states, "In RARE cases where the size or position of a proposed project renders this netting procedure infeasible, applicants may seek relief and directions for effective alternatives from the Planning Commission."

HAS the Planning Commission granted such "relief" to the proposed tall, bulky commercial buildings? I haven't seen that item on their agendas. And WHY has the Building Official determined story poles to be infeasible on both of these projects? Engineers and contractors throughout the state provide story poles in similar circumstances without interfering with current use of the property.

As a result of what appears to be a failure to enforce the story pole policy, decision makers, staff, and the public are being deprived of the opportunity to view the real-life effects of the proposed buildings' height, mass, and bulk that would assist in making informed decisions.

I respectfully request that Council direct staff to enforce the story pole policy for all applicable projects going forward. And I request that Council direct staff to provide the public with written evidence of the Building Official's determination of the infeasibility of story poles on the two projects under consideration, and written evidence of the Planning Commission's granting of relief. If there is no convincing evidence of infeasibility, I request that tomorrow's hearing be postponed until after story poles are in place.

Thank you.

Attach a File

CITY COUNCIL RESOLUTION NO. 6-023

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PACIFIC GROVE ADOPTING PROCEDURES AND REQUIREMENTS FOR MAILING OF LEGAL NOTICES, PUBLISHING AND POSTING LEGAL NOTICES, STORY POLES AND NETTING, AND PROJECTS REQUIRING STORY POLES AND NETTING AND ESTABLISHING THEM AS CITY POLICY

THE COUNCIL OF THE CITY OF PACIFIC GROVE DOES RESOLVE AS FOLLOWS:

SECTION 1. This council hereby adopts as City Policy the procedures specified in attachment 'A', attached hereto and incorporated herein by reference, regarding mailing legal notices, publishing and posting legal notices, story poles and netting and projects for which story poles and netting are required.

SECTION 2. The Community Development Director, or his/her designates, is directed to administer these new policies and ensure compliance for all projects where these policies are applicable.

PASSED AND ADOPTED BY THE COUNCIL OF THE CITY OF PACIFIC GROVE this 4th day of October, 2006, by the following vote:

AYES: Cort, Bennett, Davis, Goldbeck, Miller, Nilmeier, Schenk

NOES: NONE

ABSENT: NONE

APPROVED:



DANIEL E. CORT, Mayor

ATTEST:



JAMES J. COLANGELO, City Clerk

APPROVED AS TO FORM:



DAVID C. LAREDO, City Attorney

ATTACHMENT 'A'
of
CITY COUNCIL RESOLUTION NO. 6-023

**CITY OF PACIFIC GROVE PROCEDURES AND REQUIREMENTS FOR
MAILING OF LEGAL NOTICES, PUBLISHING AND POSING LEGAL
NOTICES, STORY POLES AND NETTING, AND PROJECTS REQUIRING
STORY POLES AND NETTING**

I. PROPOSED FORMAT AND MAILING PROCEDURES FOR LEGAL NOTICES

1. Revise the format for the standard legal notice, also known as the Notice of Public Hearing. One version, *Attachment A*, will be mailed to occupants as well as property owners. A second version, *Attachment B*, will be posted at the subject property.
2. The radius for mailing legal notices shall be 300 feet with the following exception. For projects in the Asilomar Dunes neighborhood, as delineated in the Land Use Plan of the Local Coastal Program, the mailing radius shall be 350 feet.
3. Broader noticing shall be considered by the Planning Commission for projects with more than 7,000 square feet of floor area.

II. PROPOSED PROCEDURES FOR PUBLISHING AND POSTING LEGAL NOTICES

1. Continue publishing notices in the legal section of a newspaper of general circulation within the City of Pacific Grove at least ten days in advance of the public hearing at which an application will be considered. Consolidate items for the same meeting into one notice and include the City seal. The design of these notices will continue unchanged.
2. As a courtesy, post all vital information from the notices in agenda form on the City of Pacific Grove website. After the hearings, leave agendas on the website for no less than two years.
3. Continue posting courtesy copies of notices and agendas at the Pacific Grove Public Library.
4. Continue posting agendas on the exterior City Hall bulletin board.
5. Upon request, send courtesy notices and/or agendas by mail or e-mail at no cost to the recipient. Post this policy on the agenda section of the City of Pacific Grove web site.
6. For projects requiring a use permit, variance, other application for exceptions, or for land division applications, the following posting procedure shall be followed:
 - A. The applicant shall post the subject property at least ten days in advance of the hearing.
 - B. The posting shall consist of the two following elements, each on a separate sheet of 11x17-inch bright yellow paper. 1) A copy of the Notice of Public Hearing (Attachment B version). 2) The most affected elevation(s) of the project.

- C. The following wording shall be included across the bottom of the project elevation: This is a preliminary drawing and therefore subject to change. Contact the Pacific Grove Community Development Department at 300 Forest Avenue (831-648-3190) if you would like to review the plans and latest information on this project.
 - D. The two sheets shall be laminated and secured side by side to a signboard available from the Community Development Department. A refundable security deposit equal to the replacement cost of the signboard and frame may be charged by the city.
 - E. One of these signboards with the public notice and drawings of the project (if applicable) shall be posted by the applicant or property owner on each street frontage of the subject site within three feet of the property line in a place that is visible from the street and sidewalk. The signboards and notice(s) shall be removed when the appeal period has closed.
 - F. The applicant shall maintain the notice(s) in good condition until the appeal period is over and return the signboard to the Community Development Department.
7. Include the following in the submittal checklist for all applications: "Owners and applicants are encouraged to contact adjacent property owners and discuss the proposed project with them."

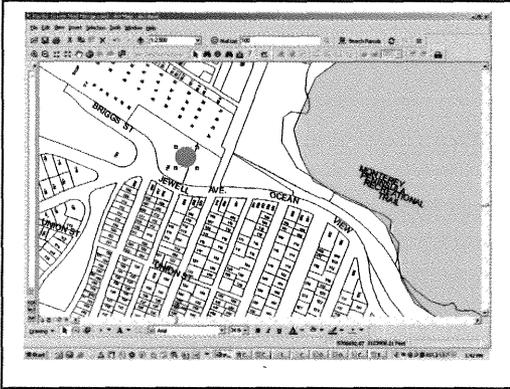
III. PROPOSED USE OF NETTING AS A FORM OF PUBLIC NOTICE AND TOOL FOR DISCRETIONARY REVIEW

All proposed new construction and additions to existing structures that require discretionary review by the Architectural Review Board, Planning Commission, or City Council shall be mocked up on the subject property in the following manner:

1. The proposed ridgelines and exterior wall lines of such projects shall be delineated with international orange netting supported by poles or other appropriate materials. Netting shall be a minimum of one foot in width.
2. The netting and supports shall accurately reflect the extent of the proposed project as well as its position on the site. A pole and flag shall indicate the chimney height. New or modified architectural details such as windows, doors, or small gables need not be indicated by netting. Changes to materials also are exempt.
3. Netting shall be in place at the time the public notice or notices are posted. If a project requires environmental review, netting shall be in place before the public review period begins. Netting shall remain in place until all appeal and call-up periods have ended.
4. Netting and its supports shall be kept in an accurate, well-maintained, and safe condition until the end of the appeal period, or as long as they remain in place.

5. If trees or branches are proposed for removal as part of a project, they shall have fluorescent pink or red flagging ribbon, with a minimum width of 1", tied around their most visible portion. This ribbon shall be in place by the time the notice or notices are posted and shall remain in place until the end of the appeal period.
6. A site plan that shows the roof plan of the proposed building(s) as well as the location of poles, netting, and tree(s) shall be submitted to the Community Development Department as soon as the posting and netting is in place. Trees proposed for removal or trimming shall be clearly marked.
7. In rare cases where the size or position of a proposed project renders this netting procedure infeasible, applicants may seek relief and directions for effective alternatives from the Planning Commission. These alternatives may include broader mailings of public notices, additional newspaper ads, public forums, photomontages, flagging, a combination of the above or other methods.
8. **EXCEPTIONS:** Proposed netting procedures will not apply to projects deemed eligible for administrative approval by the Community Development Director nor affect projects that are exempt from discretionary review. Refer to Section 23.73.040 of the Pacific Grove Municipal Code for these exceptions.

These measures shall be reviewed annually by the Planning Commission

KEEPING YOU INFORMED - STAY INVOLVED - MAKE A DIFFERENCE**Site Location:**

650 Jewell Avenue
Pacific Grove

Nearest Cross Streets:

Intersection of Briggs,
Jewell Avenue and 19th Street

Applications.

Use Permit App. No. 06-0001
Variance App. No. 1385-06
Tree Permit App. No. CDD 11119

Dear Property Owner or Tenant:

This is to inform you of a request for a use permit to establish a senior housing facility in your neighborhood. A setback variance has been requested, as well as removal of two Monterey pine trees from the site.

A public hearing concerning these applications is currently scheduled before the City of Pacific Grove **Planning Commission** for **Thursday, March 16, 2006** at the City Council Chambers, located at 300 Forest Avenue, Pacific Grove, commencing at 6:00 p.m. Please call the staff or applicant contact as soon as possible if you would like to learn more or provide input about this request.

Staff Contact:

Jon Biggs
(831) 648-3190

Applicant Representative:

Bill Foster, Architect
(831) 375-4868

For information on the status of this hearing, or to view application materials, call (831) 648-3190 or visit our website at www.ci.pg.ca.us and visit the Planning Commission page under "City Hall," "Boards and Commissions." You can also visit the Community Development Department in person to view the plans (address and phone number on reverse). Call in advance if you wish to speak with the staff contact in person concerning this project.



City of Pacific Grove
Community Development Department
300 Forest Avenue
Pacific Grove, CA 93950
(831) 648-3190

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*(If international, go
to www.usps.com to
compute postage)*



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Community Development Department
300 Forest Avenue
Pacific Grove, CA 93950
(831) 648-3190

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ATTACHMENT 'B'
(actual posting will be on 8.5x 14 or legal paper)

CITY OF PACIFIC GROVE
NOTICE OF PUBLIC HEARING

FOR A PROJECT LOCATED AT 100 MAIN STREET

When: Thursday, February 2, 2006, at 6:00 p.m.
Where: Planning Commission Meeting, City Council Chambers,
Pacific Grove Civic Center
300 Forest Avenue, Pacific Grove, California 93950
Contact: Associate Planner, Sally Rideout (831) 648-3190

What is being planned?

Applicant, John Doe, Architect, on behalf of the owners, Jeannie and James Doe, would like to connect an existing detached one-car garage having nonconforming setbacks to a single-family residence located at 100 Main Street, and has filed Use Permit Application No. 06-2020 to allow this use. The applicant also wishes to build within a required rear yard setback at 840 Spruce Avenue, and has filed Variance Application No. 05-1693 to allow this exception to the zoning regulations. It is not anticipated at this time that the height of the structure will change as a result of these applications, but interested parties should follow the hearing process closely to ensure that this remains the case.

What is the purpose of this notice, and where do you come in?

This notice is to alert you to the time and place of the public hearing. The public hearing provides an opportunity for you to ask questions or formally record comments (verbally or in writing at least 7 days prior to the meeting) related to the project or its impacts. Legal challenges to the City's action on this project (*may? must? should?*) be limited only to those issues raised in such testimony during the public hearing process.

What information is available and whom should you contact?

Drawings of some aspects of the project are posted at the front property line at 100 Main Street. These drawings are preliminary and subject to change. If required, poles, orange netting, and bright ribbons have been placed on the property to outline the proposed ridgelines, extent of the project, and tree removal, but do not reflect all details. To review all plans and receive the latest information on the project, contact the Pacific Grove Community Development Department at 300 Forest Avenue [Telephone: (831) 648-3190]. Up-to-date plans and related documents also will be available for review at the public hearing.

Related Meetings:

The Planning Commission will also meet in a plan and site review session on Tuesday, January 31, 2006, at 4:00 p.m. in the Community Development Department Conference Room, 300 Forest Avenue. The limited purposes of this session are (1) to visit the site of the projects listed

on this meeting's agenda, if needed, and (2) to allow staff to respond to Commissioner inquiries regarding factual aspects of the applications. MEMBERS OF THE PUBLIC MAY ATTEND.

Special Accommodations:

The City of Pacific Grove does not discriminate against persons with disabilities. The Pacific Grove Civic Center is an accessible facility. A limited number of devices are available to assist those who are hearing impaired. If you would like to use one of these devices, please contact the Community Development Department Secretary at (831) 648-3190.

APPLICANT: John Doe, Architect

ZONE DISTRICT: R-1

LEGAL DESCRIPTION: Lots 18 and 20, Block 84, Third Addition to the Pacific Grove Retreat

GENERAL PLAN DESIGNATION: Medium Density Residential

ENVIRONMENTAL STATUS: Categorically Exempt, Class 1

OTHER CITY APPROVALS REQUIRED: A separate hearing before the Architectural Review Board.

This Notice may be removed after February 22, 2006

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Submission #181

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 6, 2018 - 8:35 am

173.164.176.149

Your Name

Andrew Passell

Your Email Address

ersb64@yahoo.com

Subject

Hotel Durrell

Message

I saw the presentation by city staff and the applicant at the April 5th PC meeting.

The proposed project complies with all city zoning and planning criteria. The applicant has made a serious effort to address concerns of city residents in regards to shadows cast by the building. The project would be a big improvement over the existing building and parking lot on the site.

The project will improve the storm water management of the site and therefore will help mitigate a city wide problem.

I recommend that this project be approved.

Andrew Passell

Pacific Grove Resident

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Submission #182

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 6, 2018 - 12:27 pm

2601:642:c301:d2d5:54a7:af60:6351:8831

Your Name

Janet Cohen

Your Email Address

janetcohen333@comcast.net

Subject

Hotel Durrell follow up

Message

Dear Planning Commissioners,

Here are some follow up thoughts for Hotel Durrell after the Planning Commission meeting last night 4/5/18.

Thank you,

Janet Cohen

Attach a File

[Hotel Durrell follow up.docx](#)

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4/6/18

Dear Planning Commissioners,

Here are some follow up thoughts to the Hotel Durrell discussion last night at Planning Commission:

The larger proposed setbacks along Central are appropriate and very helpful though an even greater setback on the Grand and Central side for more outdoor seating would work in giving people an area to relax and enjoy the view across to Jewell Park and the pleasant space and feel of our “town square” cultural area. (This was the spot where we met for the site review yesterday.) The hotel would have an option of the restaurant or a café being connected to the outdoors there. This is not difficult to imagine becoming a popular outdoor place.

Auto and valet access on Fountain and not on Central would also be safer for pedestrians.

** The big question is how do we decrease the jarring visual effect of large continuous massing in the form of two towers along Fountain and Grand?

Please consider that the side streets from Lighthouse to Central throughout downtown do not currently have continuous large massing below less than ½ way down the block. Central Avenue coming into town and the side streets up to Lighthouse currently create a smooth transition with varied interesting architecture from residential to downtown. The only exception to this is the Plaza Project which sits on one side of a short block between Lighthouse and Central.

**Would it be possible to build several smaller structures instead of two towers?

An example of this would be Hotel Pacific in Monterey on Pacific Street with 105 units and conference area consisting of a number of less intrusive three story buildings. Of course the lot size is different though also on a grade. The site of the hotel is next to historic structures and also on a heavily traveled entry street to their downtown area. (Note: Hotel Pacific recently was painted white with dark balconies, which unfortunately increases the visual massing appearance. It’s a personal bias as I had always admired the previous rich tan color with lighter balconies as I drove by.)

Hopefully, with brainstorming there can be a hotel project that better fits our funny, sweet, wonderful town which will also be a positive joyful experience for visitors and pencils out for the owner too.

Thank you,

Janet Cohen

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Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 6, 2018 - 3:48 pm

2601:642:c300:62d6:b912:e68b:ad3b:695c

Your Name

Susan Pierszalowski

Your Email Address

heronmoon@yahoo.com

Subject

Hotel Durrell Planning Commission Meeting April 5, 2018

Message

Dear Commissioners,

As a concerned resident, I attended the Planning Commission Meeting last evening regarding the proposed Hotel Durrell. I was very impressed with the informed and articulate members of the public that spoke against this massive and poorly designed project. Increased traffic, limited parking, alteration of home town character and adverse impact on residents, among multiple other concerns were brought to your attention. A legitimate issue was the omission of storey poles that does a disservice to residents who may not be aware of the size and mass of this proposed hotel. Not everyone has computer access or subscribes to a newspaper. The images presented last evening of this hotel were alarming to say the least. The hotel appeared to dwarf all surrounding buildings and the minor additions of a few strategically placed planters did nothing to disguise this monstrosity. The comment by the architect that the hotel wouldn't be financially solvent if reduced in size was spurious at best and points to the real reason behind this project, enhanced wealth for the developer and increased revenue for the city.

Please carefully consider the far reaching impact of this oversized project that does not fit in our town. A smaller, carefully designed hotel with attractive gardens would complement the neighborhood and benefit residents and tourists alike.

Sincerely,

Susan Pierszalowski
1257 Shell Avenue,
Pacific Grove

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 13, 2018 - 11:49 am

2601:642:c300:9a30:7d9c:6dco:4bfb:5of9

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

April 19, 2019 4. Approval of Minutes a. April 5, 2018

Message

Dear Planning Commissioners:

There is a technical flaw in the minutes that raises an important issue regarding the public testimony regarding the proposed Hotell Durell project. The minutes read under Regular Agenda Item 8a,

"The Chair opened the floor to public comments. The following members of the public spoke: [including] 26. Safwat Malek, architect, expressed support of the project."

In fact, Mr. Malek, indicated that he was part of the design team for the project. Therefore, he should not be considered or counted as a member of the general public speaking in favor of the project. Mr. Malek apparently had and may still have a financial interest in the outcome of the proposed project. In fact, his online company profile includes his design for a "Hotel Study" at the subject site - - see photo.

Thank you for your consideration.

Sincerely,

Tony Ciani

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[Screen Shot 2018-04-07 at 10.44.31 AM copy.pdf](#)

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Submitted by Anonymous (not verified)

April 15, 2018 - 5:13 pm

2602:306:c40f:6710:d1e1:b360:e82d:4ac9

Your Name

Wendi Newman

Your Email Address

wendi.newman7@gmail.com

Subject

Hotel Durell

Message

Dear Commissioners,

My husband and I are very concerned about this hotel and it's impacts on the city.

Increased traffic, insufficient water, and trash and sewage will impact our small town. The development is far too large, and a smaller building, fewer room and massing reduced might help convince residents this is worthwhile.

It is curious to us that the city is considering a hotel while allowing STRs. Don't STRs undercut market rate rooms?

We can do better than a hotel built on this parcel.

Wendi and Richard Newman

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Public Comments
pertaining to the April 19, 2018
Planning Commission meeting
which was subsequently canceled

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Submission #187

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 16, 2018 - 8:25 pm

2601:642:c300:9a30:89b4:8446:1bee:bcce

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

April 19, 2019 Agenda Item 7a Hotel Durell

Message

Dear Commissioners;

Please consider my attached letter.

Thank you,

Tony Ciani

Attach a File

[PG PC Hotel Durell Traffic April 16, 2018.pdf](#)

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■ Anthony A. Ciani 220 Walnut Street Pacific Grove, California 93950
ARCHITECTURE - PLANNING - HISTORIC PRESERVATION - COASTAL CONSULTANT

April 16, 2018

Chairman Bill Fredrickson and Members of the Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

**RE: April 19, 2018 Item 7a Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR -
Letter Number One: Traffic Circulation and Congestion – Public Safety**

Dear Chairman Fredrickson and Planning Commissioners:

Contentious to say the least, the proposed Hotel Durell foments considerable dissatisfaction, not due to its proposed use, but because it is a poor solution. The citizens of Pacific Grove deserve a stellar hotel that they expected to get when they overwhelmingly voted to grant the right to develop a new hotel on a unique site in downtown Pacific Grove. In addition to citizen concerns about the project's excessive bulk and lack of compatibility with the surrounding civic buildings, are issues still shared by many members of the community, about the hotel's unacceptable adverse impacts on traffic and parking. The following key issues are:

- a. The location of the Lobby's main vehicular entrance will result in congestion due to conflicts between cars arriving "upstream" from the east (Monterey) on Central Avenue and waiting, queued in a single lane, to turn left rapidly across the oncoming traffic, that may be blocked by pedestrians using the sidewalk, or blocked by automobile and bicycle traffic flowing from the west on Central and Grand Avenues.¹ The cars turning left into the hotel entry must also wait for the cars arriving from the west and turning right into the Hotel Lobby "drop off zone" for newly arriving guests, returning guests, or valets returning cars from the underground valet parking. The entrance driveway lacks a standing space, and would require cars to immediately turn left in a tight radius adjacent to the sidewalk which is more likely to increase the chance of an accident due to motorists turning rapidly across oncoming traffic and the sidewalk, while making their left turn. This maneuver can lead to more crashes because of the angle and speed differentials between the vehicles travelling in opposite directions.²
- b. Fountain Ave. is an important gateway for visitors arriving from Monterey on Ocean View Boulevard Signage at Fountain Avenue and Ocean View Boulevard, directs visitors to "Historic Downtown" south on Fountain Avenue.

¹ **USDOT Technical Summary** Titled: **Access Management in the Vicinity of Intersections**, provides "an overview of safety considerations in the design, implementation, and management of driveways near traditional intersections in urban, suburban, and rural environments where design considerations can vary as a function of land uses, travel speeds, volumes of traffic by mode (e.g., car, pedestrian, or bicycle), and many other variables." https://safety.fhwa.dot.gov/intersection/other_topics/fhwas10002/#s12

² **IBID: 1.3 Reducing the Number and Types of Conflict Points Created by a Driveway May Reduce Crashes**

April 16, 2018

Chairman Bill Fredrickson and Members of the Planning Commission

RE: April 19, 2018 Item 7a Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

Page 2

“Upstream” traffic coming from Monterey on Central Avenue turns into the southbound lane onto Fountain to reach downtown. Hotel Guests and Valet Parking leaving the Hotel Lobby drop-off zone would enter onto Fountain directly into that arterial traffic flowing into downtown. Slowing traffic would impact travel to and from the shoreline, which could impact the economy.



Coastal Road Gateway into Pacific Grove – Ocean View Drive at Fountain Avenue

- c. The proposed driveway for vehicles exiting the hotel drop off area onto Fountain Avenue is located too close (about 16 feet) to the Central Avenue intersection, which does not meet local, state and federal minimum safety standards to avoid conflicts with pedestrians and street traffic.³ Generally, the farther from an intersection a driveway can be located, the less it will affect the through traffic and the less delay it will cause to vehicles using the driveway. I understand that the standard distance between a private driveway and roadway intersection in a commercial neighborhood is usually 125 feet.
- d. The valets exiting the “hotel drop-off” onto Fountain Avenue and accelerating into the arterial traffic stream must immediately decelerate to negotiate a right hand turn into the hotel underground parking ramp. Upstream traffic coming from the east (Monterey) on Central, turns left to merge onto Fountain. Together with traffic coming up Fountain from the coastal route (Ocean View Blvd.) into town, and traffic turning right from the east-bound traffic movement on Central Ave. - - the thru-traffic vehicles using south bound Fountain, must suddenly decelerate to avoid colliding with valets before they suddenly slow to re-enter the hotel’s nearby driveway and underground ramp into the building.

The project architect’s concept to close the entrance on Monday afternoons during the Farmers’ Market, and use the narrow Fountain guest and valet egress driveway, to serve automobiles both coming and going to and from the hotel, would create

³ **IBID: 1.2 Limiting Driveways within the Functional Area of an Intersection Improves Safety**

April 16, 2018

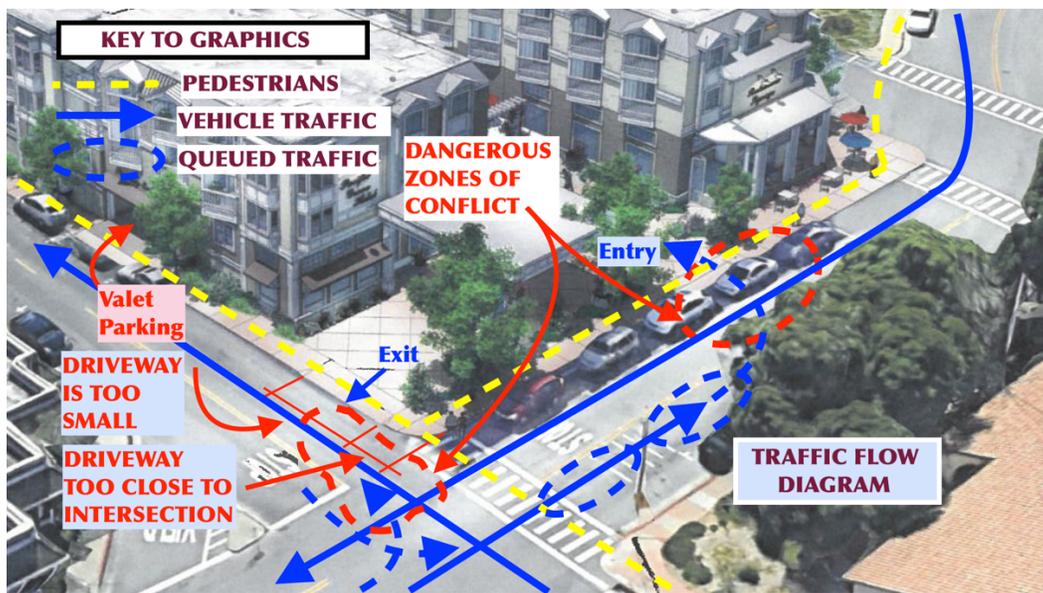
Chairman Bill Fredrickson and Members of the Planning Commission

RE: April 19, 2018 Item 7a Hotel Durell, 157 Grand Avenue, AP/UP 16-203, Certify EIR

Page 3

even more unacceptable conflicts for automobile traffic and for pedestrian safety. As well as being located dangerously close to the corner, the driveway is not wide enough for two-way traffic. Imagine a car traveling east on Central and making a right turn on Fountain, and right turn again into the narrow driveway that is used by existing guests and valets. Imagine a car traveling west on Central, making a left turn on Fountain, and immediately turning right into the same driveway as the guests and valets existing that narrow driveway.

- e. Sight distance criteria are based on the time required for a vehicle to make a left turn from a stop, and the time to execute the maneuver, is based on recommendations for "Intersection Sight Distance." The revised drawings still indicate cars parked on the street in front of the entrance. The project architect's oral comments to the Planning Commission that cars will be able to park on both sides of the entrance are not supported by parking standards for safe distances between parked cars and driveways or intersection corners.



(Applicant's Rendering) Central Ave. & Fountain Ave. – notes added)

Hotel guests travelling from Monterey into town on Central Avenue must wait for sidewalk pedestrians to clear the sidewalk in front of the driveway, **and** wait for the oncoming easterly flow of bicycle and auto traffic on Central Avenue to be clear, before turning left across the roadway and sidewalk into the hotel entry drop off zone. I believe the Central Avenue location for the proposed hotel entry will result in significant adverse impacts to public safety and the public's enjoyment of the existing cultural uses. Therefore, the project should be substantially redesigned or denied.

Sincerely, Anthony Ciani, Architect

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Submission #188

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 17, 2018 - 8:40 am

2601:642:c300:a85d:1cdc:1e0d:dcf2:4d15

Your Name

Jane Haines

Your Email Address

janehaines80@gmail.com

Subject

April 19 hearing - Durell Hotel

Message

Pease read the attached letter prior to the April 19 hearing

Attach a File

[PGDurellApril19.pdf](#)

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Jane Haines

601 OCEAN VIEW BOULEVARD, APT. 1, PACIFIC GROVE, CA 93950

janehaines80@gmail.com

Tel: 831 375-5913

April 17, 2018

Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

Re: 157 Grand Avenue — “Architectural Permit/Use Permit 16-203” for Durell Hotel

Dear Planning Commission,

Staff claims the City obtained peer review of the EIR by a CEQA expert who found the EIR adequate. On March 29, I made a public records request for the peer review and all documents related thereto. The City provided them on April 12. They do not support the City’s claim.

PEER REVIEW

I received the Peer Review from the City Clerk’s office in response to my public record request no.1803-008.¹ It consists of 49 comments about the administrative draft final EIR by City-hired CEQA consultant, John Douglas AICP. Mr. Douglas recommended 27² FEIR changes which the City accepted and 21³ which the City ignored. The following explains some of the ignored recommendations, their importance and why it would be a mistake for the Planning Commission to certify the EIR as complying with CEQA or to approve the “joint architectural/use permit” for Hotel Durell.

¹ Public records request no. 1803-008 states in relevant part: “Second, I request to inspect all documents related to the ‘peer review’ referenced by Mark Brodeur in the following sentence in today’s Herald article (3/29/18 ‘Pacific Grove’s Durell Hotel moves on to Planning Commission’):

‘We had that EIR prepared by a third party independent professional firm with no skin in the game and then I took that copy and sent it out for a peer review,’ said Brodeur.

This second request includes, but is not limited to, the ‘peer review’ itself, correspondence pertaining to the ‘peer review,’ invoice and payment receipt for the ‘peer review,’ and other documents related to the ‘peer review.’”

The City’s 4/12/18 response contains 17 documents, most of which I found irrelevant to my request.

² City-accepted recommendations #1, 4, 5, 6, 10, 11, 12, 13, 16, 17, 18, 21, 24, 25, 26, 27, 28, 29, 30, 31, 33, 38, 39, 45, 46, 47, 48.

³ City-ignored recommendations #2, 3, 7, 8, 9, 14, 15, 19, 20, 22, 23, 32, 34, 35, 36, 37, 40, 41, 42, 43, 44.

Comment #2: Mr. Douglas's recommendation #2 is that the project condition to mitigate potentially significant impacts to pedestrian traffic in the hotel area be worded to ensure enforceability. He illustrated how by using the example of when an applicant is required to pay a fee; instead of saying the applicant must pay a fee, the project condition should specify timing for the payment. To illustrate he suggested the project condition should be worded: "Prior to issuance of a certificate of occupancy, the City shall...." His recommendation is consistent with CEQA Guidelines §15126.4 which requires enforceable mitigation measures. The City ignored his recommendation. Project condition #7 at agenda report page 18 *should* say "Prior to issuance of an occupancy permit, the City shall redesign and construct the intersection at Central and Grand in accordance with MM3.4.2a, MM 3.4.2b and MM3.4.2c, with the developer paying 25% of the cost." Instead, condition #7 is worded as Mr. Douglas recommends it *not* be worded; it states "The developer shall pay 25% of the cost that the City's Public Works Department determines for a complete redesign of the intersection to facilitate pedestrian safety. The developer will pay for an improved/painted crosswalk at Central Avenue and Grand Avenue to protect pedestrians." Unless the proposed wording is changed to the wording Mr. Douglas recommended, there is nothing to prevent the hotel from opening prior to the mitigation measures being completed. According to page ES-8 of the Draft EIR, MM 3.4.2a, MM 3.4.2b, and MM3.4.2c are necessary to prevent potentially significant environmental impacts from increased pedestrian usage in the vicinity of the project site. Thus, project condition #7 should be rewritten as Mr. Douglas recommends, so the hotel will not open until intersection improvements have been constructed.

Comment #34: Another example of the City ignoring Mr. Douglas is recommendation #34. He asks the question: "What about cumulative traffic?" He's referring to Comment EF-4 in which the commenter states the EIR should examine the cumulative impact of the project and the Holman Condo project when assessing parking, traffic and water availability. The FEIR responds by referring the commenter to "Master Response 3: Parking." However, Master Response 3 was not amended to address cumulative traffic despite Mr. Douglas's recommendation. It remains as it was and does not address the cumulative traffic impact of the Hotel Durell project and the Holman Condo project.

Comment #3: Another example of the City ignoring Mr. Douglas is his comment #3. He asks: "Were off-site valet vehicle trips included in the overall traffic analysis?" He adds "There would be additional trips with off-site valet as compared to having all parking on-site." I looked it up in the project traffic impact analysis. The traffic analysis never considers additional trips from off-site valet parking — another ignored recommendation. Furthermore, the traffic analysis repeatedly recommends that a portion of the 28 off-site parking spaces be designated for hotel employees. (DEIR appendix 6, pages vii, 22 and 24.) Despite that, project condition #8 at agenda report page 18 states: "Employee parking will be restricted to the Lighthouse Theatre Municipal Parking Lot. Employees shall not be allowed to park in the hotel parking lot or on nearby streets." Thus, project condition #8 *directly contradicts* the traffic analysis recommendation.

Hours of construction should be addressed by a project condition, e.g., "the hours of construction shall be limited to the hours of 7 a.m. to 7 p.m. Monday through Friday, 8 a.m. to 6 p.m. Saturday and 10 a.m. to 5 p.m. Sunday," or whatever hours are desired. The 4/19/18 agenda report contains no project condition restricting hours of construction.

Project condition #6: Mr. Douglas had no opportunity to comment on the proposal to close the hotel entrance for 4 hours on Mondays because that proposal was not made until *after* the EIR was finalized. This potentially significant project change is embedded in Project condition no. 6 at agenda report page 18, which states: "The hotel will close one of its two entries into the hotel lobby every Monday between the hours of 1 and 5 p.m. during the time of the Farmers

Market.” This project condition was not evaluated in the EIR. It is unclear which of the two entries will be closed, what effect closing an entry could have on Central Avenue traffic, and four hours are only a fraction of the number of hours needed by the Farmers Market. Of equal or greater importance, Mr. Douglas lacked factual information to understand the legal necessity for the EIR to evaluate a relocated hotel entrance from Central to Fountain Avenue as a potentially superior project alternative⁴.

Comment #7: Mr. Douglas’s comment #7 refers to Master Response Visual Simulation. It states:”Some of the comments mention shade/shadow and the individual responses cite this master response, but shadow isn’t addressed.” Ten comments state concern about shadows. The FEIR responds that shadows are not an issue, despite Mr. Douglas recommending Master Response Visual Simulation should address shadows. Furthermore, the “Additional Visual Simulation” section in the Final EIR to which Mr. Douglas refers, is *identical* to that same section in the Draft EIR he criticized. The City ignored Mr. Douglas’s recommendation #7; the Master Response Visual Simulation remains as it was before Mr. Douglas commented; it never mentions shadows.

NOTE: The shadow study at agenda report pages 23-28 is reassuring provided it is accurate. However, it appears to be contradicted by the photograph of shadows on the library lawn shown on page 5 of my 1/30/18 comments. Pages 23-28 are nothing more than pictorial representations. They do not describe test conditions nor provide any source the skeptical reader can use to interpret them. CEQA requires substantial evidence to support findings. Pages 23-28 are not substantial evidence the hotel will not cause adverse aesthetic impacts from the shadows it casts.

Comments #22, 32 and 23: Mr. Douglas’s comment #22 is simply a question mark pointing toward a comment about the earlier mitigated negative declaration. His comment #32 is also a question mark pointing to another mention of the earlier mitigated negative declaration. Apparently the City did not inform Mr. Douglas there was an earlier mitigated negative declaration, so he indicated puzzlement. His recommendation #23 consists of two question marks linking to a comment about Coastal Commission oversight. They indicate he’s puzzled by that reference as well. That’s because the EIR does not acknowledge the referenced sidewalk widening would occur in the Coastal Zone, so Mr. Douglas had no way to understand that material fact. This relates to numerous serious issues including the City’s failure to comply with Public Resource Code §21069, an issue raised in one of my March 25 communications to the ARB which the ARB directed be reviewed by the City Attorney’s office. I’ve seen no indication such review has occurred.

Time stamps on Mr. Douglas’s comments show he wrote the first comment at 1:48 p.m. on 12/1/17 and the 48th at 6:32 p.m.. During those five hours, he made 49 recommendations, 23 of which the City ignored.⁵ The public records provided to me contain no indication that Mr. Douglas believes the EIR complies with CEQA.

⁴ One of my two March 25 letters which the ARB directed be reviewed by the City Attorney’s office, provides legal authority for why the EIR must evaluate the feasible alternative of a relocated hotel entrance.

⁵ Mr. Douglas’s scope of work appears to have been limited to reviewing responses to comments and not to the EIR as a whole. I find nothing in the documents the City provided me showing that Mr. Douglas found the EIR as a whole in compliance with CEQA and as discussed above, he certainly did not find the FEIR’s response to many comments to be adequate.

Procedural Issues

I find nothing in the Pacific Grove Municipal Code authorizing issuance of a “joint architectural/use permit.” Proposed Architectural Permit findings listed on Agenda Report page 16 pertain to permits issued by the ARB, not by the Planning Commission. Proposed Use Permit findings listed on page 17 pertain to permits issued by the Planning Commission, which do not include a “joint architectural/use permit.” If there’s a provision in the Pacific Grove Municipal Code that allows the City to proceed in this manner, that provision should be disclosed so that ARB and Planning Commission members and the public can understand what standards govern issuance of a joint permit.

Moreover, Municipal Code Table 23.31.030, footnote 8, applicable to CIT zoning for hotels, allows the use permit for a hotel to include architectural review, but it also imposes Title 23 requirements which require an Architectural Permit for any new construction. Only the ARB is authorized to issue an Architectural Permit.

On 3/27/18, the ARB approved a motion summarized by Chair Boyle as follows: “Member Gunby recommends that we forward this along to the planning commission with the condition of reducing the massing on all three sides - not the rear - and have the City Attorney review the EIR, the two comment letters from Miss Haines, and maintain the existing parking spaces.” The unanimously-passed motion had four components:

1. condition of reducing massing on all three sides
2. City Attorney review the EIR
3. City Attorney review two comment letters from me
4. maintain the existing parking spaces.

I’ve heard nothing more about components 2, 3, and 4, and the April 19 agenda report does not address how the redesigned architectural plans comply with component 1.

CONCLUSION

Hotel Durell is too important a project to be handled in this careless manner. For the sake of protecting persons and property in the vicinity of Hotel Durell, I request the Planning Commission to order preparation of a supplemental EIR and for the City to proceed in accordance with the Pacific Grove Municipal Code.

Sincerely,

Jane Haines

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Submission #189

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 17, 2018 - 1:45 pm

2601:642:c300:9a30:98ce:91dd:b90:4e33

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

Hotel Durell - Postponed

Message

Dear Planning Commissioners,

The citizens gave special permission to build a hotel on this specific site. They took a risk in that decision and have a vested interest in the outcome. In a way, the community is the architect's client, too, in determining the project scope and scale. The Planning Commission serves as the executive board for the community that must define the criteria for the "use" (that is the deal made in the hotel ordinance for the use permit). The property owner asked to expand Holman for Condos and the Community granted special permission for that use, and the owner is the beneficiary. Now, the owner wants to build a near-max hotel on the same site and the community must decide "what is good enough?"**. It must be scored on the basis of its quality, not just the quantity of rooms.

I think the community must do, is to expand its thinking and set the standard very high for "what is good enough" to build the hotel on the singular site to the community set aside 30 years ago for it. The community should know if this hotel will be designed to serve as a resort destination unique for this special place, or as it appears to be, a bunch of rooms on both sides of a long hall. (See attached Hotel Durell Excerpt.)

Who are the candidate operators? Will the hotel brand be harmonious with Pacific Grove's brand?

Thank you for your diligence.

Tony Ciani

**An apt question by Commissioner Mark Chakwin.

Attach a File

[PG PC Hotel Durell Postponed April 17, 2018.pdf](#)

[Previous submission](#)

[Next submission](#)

Anthony A. Ciani 220 Walnut Street Pacific Grove, California 93950
ARCHITECTURE - PLANNING - HISTORIC PRESERVATION - COASTAL CONSULTANT

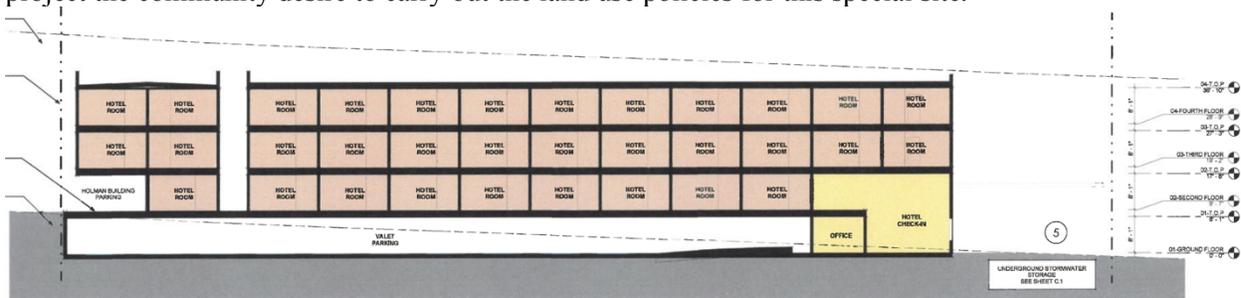
April 17, 2018

Chairman Bill Fredrickson and Members of the Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

RE: Hotel Durell, 157 Grand Avenue - Postponed

Dear Chairman Fredrickson and Planning Commissioners:

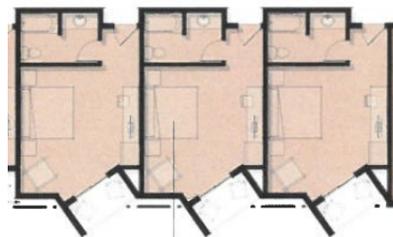
I understand the project was postponed by the applicant to “reduce bulk and massing” issues. Also, please consider a sample of hotel’s proposed floor plans and sections as part of your review for the caliber of the project the community desire to carry out the land use policies for this special site.



Section 2



THIRD FLOOR PLAN
SCALE: 1"=10'



Enlarged Room Plans (Are there closets?)

Respectfully, Tony Ciani

[Home](#) » » [277783](#) » [Submission](#) » Submission #190

Submission #190

[Resend e-mails](#)

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[Next submission](#)

Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

April 20, 2018 - 7:50 pm

2601:642:c301:d2d5:54a7:af60:6351:8831

Your Name

Janet Cohen

Your Email Address

janetcohen333@comcast.net

Subject

Hotel Durrell comment 4/20/18

Message

Dear Planning Commissioners,

Please see the attached letter regarding Hotel Durrell.

Thank you,

Janet Cohen

Attach a File

[Hotel Durrell comment.docx](#)

[Previous submission](#)

[Next submission](#)

Hotel Durrell – comment 4/20/18

Dear Planning Commissioners,

In a previous note I mentioned the Hotel Pacific in Monterey, flanked by historic structures on both sides, as a comparison to Hotel Durrell. The 105 unit hotel is less overwhelming than the proposed Hotel Durrell design we saw in the 4/5/18 meeting partially because it is broken up into a number of smaller buildings, either two or three story in height, and partially because of the lower ratio of guest room density to lot size.

Checking with the City of Monterey Planning Department, Hotel Pacific sits on three lots of 16,309 square feet, 16,691 square feet and 22,001 square feet which totals 55,001 square feet. Dividing the total lot size by 105 guest rooms equals 523.82 square feet of land per guest unit.

The proposed 125 unit Hotel Durrell has a lot size of .77 acre or 33,541 square feet. Dividing the lot size by 125 guest units equals 268.33 square feet.

If Hotel Durrell used the same amount of square feet per guest unit as Hotel Pacific, then the lot size of 33,541 square feet would accommodate 64 guest units. I realize that other factors also contribute to massing and bulk and that hotels have other design shape configuration limitations. As another comparison, the Cypress Inn has 45 guest units and the Pine Inn has 44 guest units, both in downtown Carmel and also built on a street with a grade.

The point of this is that the architect for the Hotel Durrell would be able to create a hotel that enhances the Pacific Grove site experience if given the opportunity to design something with less guest units. Less guest units would also obviously create less massing, bulk, less traffic and parking issues. Consideration also has to be given to who will buy the hotel if it sells as many hotels do. Will it be a corporate owned hotel? Will it be an individually owned boutique hotel? Will it have a lot of vacancies? Will people want to come back? Does it provide a pleasant experience so people will walk around town? Will it have a hotel owned restaurant or one that is owned by a chain as Il Fornaio in the Pine Inn? Will it have a café to sit outside towards Jewell Park? Will it be pet friendly? Will they be allowed to have music for parties to a certain hour?

Mr. Agha has had a long haul trying for years to build a hotel here in Pacific Grove. As I mentioned in the last meeting I am very grateful to him for ultimately saving the Holman Building. I opposed the Measure F City Initiative in 2012 to rezone the Holman block. Walking precincts to gain votes for No on F, I explained to people that I did not oppose a hotel on the Holman block, but did oppose the huge massing that would be allowed by the measure. I also met a number of people while walking door to door that told me personal stories of Mr. Agha's kindness to them which was heartening to hear. I stick by what I said during the No on F campaign. I am not against a hotel. But I do hope for a win-win solution with a size and design that works well functionally, visually complementing rather than overwhelming the surrounding historic buildings and that is also a successful business in our town.

Janet Cohen



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Re: copy of Email from the City Manager concerning the Hotel Durell

Andrea Fernandez <twistedersisters@sbcglobal.net>
Reply-To: Andrea Fernandez <twistedersisters@sbcglobal.net>
To: Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

Tue, Apr 17, 2018 at 8:45 PM

Laurel,

I am a concerned citizen of Pacific Grove.

The cement albatross aka the Hotel Durrell is not in keeping with the beauty of Pacific Grove.

The hotel will over shadow the Carnegie library, Jewel park and the Natural history museum.

Where are the story poles? Where is the water? Where is the parking?

What is the current occupancy rate of the other hotels and B and B's?

My mother and adult daughter also residents and are strongly against the current hotel plans.

Andrea Fernandez

On Tue, 4/17/18, Laurel O'Halloran <lohalloran@cityofpacificgrove.org> wrote:

Subject: copy of Email from the City Manager concerning the Hotel Durell

To: "Laurel O'Halloran" <lohalloran@cityofpacificgrove.org>

Date: Tuesday, April 17, 2018, 11:27 AM

Mayor

and City Council Members:

The

Community & Economic Development Department just received word from the Hotel Durell architect that he has met with his client, and has been given direction to further reduce the bulk and mass of the proposed hotel design. Upon learning this information, Bill Frederickson, Planning Commission Chair, felt that it was best to cancel Thursday's Planning Commission meeting, as the Hotel Durell item was the only item on the Planning Commission Agenda (the City Attorney's Office concurs with this decision). In accordance with further reducing the bulk and mass of the proposed hotel design, the Community & Economic Development Department can verify that the number of rooms will be reduced, but cannot yet say what the final number of guest rooms will be. New drawings are currently being prepared for submission to City staff. If the applicant's revised drawings are received in time, the hotel will be rescheduled for the Planning Commission meeting on Thursday, May 3rd. Should that be the case, new notices will be sent out and the item will be heard, including public testimony, on that date.

--

Thank you, Laurel
Laurel O'Halloran,
Associate Planner
City of Pacific Grove, Community and Economic Development

Meeting Minutes and Public Comments
pertaining to the May 17, 2018
Planning Commission Regular Meeting



MEETING MINUTES

CITY OF PACIFIC GROVE PLANNING COMMISSION REGULAR MEETING AGENDA

6:00 p.m., Thursday, May 17, 2018

Council Chambers – City Hall – 300 Forest Avenue, Pacific Grove, CA

1. Call to Order - 6:00 p.m.

2. Roll Call

Commissioners Present: Robin Aeschliman, Jeanne Byrne, Mark Chakwin (Secretary), William Fredrickson (Chair), and Steven Lilley.

Commissioners absent: Bill Bluhm (Vice-Chair) and Donald Murphy.

3. Approval of Agenda

On a motion by Commissioner Byrne, seconded by Commissioner Chakwin, the Commission voted 5-0-2 (Commissioners Bluhm and Murphy absent) to approve the agenda. Motion passed.

4. Approval of Minutes

a. May 3, 2018

Recommended Action: Approve minutes as presented

On a motion by Commissioner Aeschliman, seconded by Commissioner Lilley, the Commission voted 5-0-2 (Commissioners Bluhm and Murphy absent) to approve the May 3, 2018 Planning Commission meeting minutes. Motion passed.

5. Public Comments

a. Written Communications None.

b. Oral Communications None.

6. Consent Agenda None.

7. Presentations and Trainings

a. California Environmental Quality Act (CEQA) Overview Training

Description: Presentation providing an overview of the CEQA law.

Staff Reference: David Laredo, City Attorney, and Heidi Quinn, Assistant City Attorney

Recommendation: Receive presentation.

This item was postponed to a future hearing date.

8. Regular Agenda

a. Address: 157 Grand Avenue (006-175-001)

Permit Application: Architectural Permit/ Use Permit 16-203

Project Description: To allow the demolition of the existing single-story building and to build a 120- room, four-story hotel. The project proposes a total gross floor area of 82,936 square feet on a 0.77 acre lot.

Applicant/Owner: Randall Russom, Architect on behalf of Nader Agha, owner

Zone District/ Land Use: C-1-T/Light Commercial/Hotel/Condominium District

CEQA Status: Environmental Impact Report (EIR)

Staff Reference: Laurel O'Halloran, Associate Planner

Recommended Action: Certify the Environmental Impact Report, and approve AP UP 16-203, subject to recommended findings and conditions.

(Please refer to audio recording for more details.)

Laurel O'Halloran, Associate Planner, presented a staff report.

Darcy Kremin, EIR consultant, answered questions regarding the EIR.

The Chair opened the floor to public comments. The following members of the public spoke:

- Randy Russom, project architect of RRM Design Group, provided a presentation.
- Mike Gunby spoke against the project as presented.
- Jill Kleiss spoke against the project as presented.
- Maureen Mason spoke against the project as presented.
- Reed Norris expressed concerns about the project.
- Jeff Becom spoke against the project as presented.
- Paul Bruno spoke in favor of the project.
- Robert Fisher spoke against the project.
- Lynn Mason spoke about concerns with the project.
- Lisa Ciani spoke against the project as presented.
- Doug Baribeau spoke against the project as presented.

- Sally Moore spoke against the project as presented.
- Sally Aberg spoke against the project as presented.
- Deborah Kenwood spoke against the project as presented.
- Inge Lorentzen Daumer spoke against the project as presented.
- Patsy Volpe spoke against the project as presented.
- Jane Haines spoke against the project as presented.
- Elizabeth Fisher spoke against the project as presented.
- Safwat Malek, architect associated with the project, spoke in favor of the project.

The Chair closed the floor to public comment

The Planning Commission discussed the project.

On a motion by Commissioner Byrne seconded by Commissioner Chakwin, the Commission voted 5-0-2 (Commissioners Bluhm and Murphy absent) to certify the EIR with findings 1-8 as stated. Motion passed.

On a motion by Commissioner Byrne, seconded by Commissioner Lilley, the Commission voted 4-1-2 (Commissioner Aeschliman opposed; Commissioners Bluhm and Murphy absent) to approve the project, and to remove proposed draft permit condition of approval number 15 regarding trees from the project; and to add conditions that address issues concerning traffic and parking, including to require a recommendation from the applicant's traffic engineer to improve traffic flows at the intersections of Central-David and Central-Fountain, and address the turn into the hotel itself; and to work with the farmers market and that the property at 162 Fountain Avenue, designated in the use permit application as the site of 28 valet parking spaces, shall be dedicated solely for the use of Hotel Durell patrons. A deed restriction shall be filed to secure the use of that property for said hotel parking purposes. The sale, lease, or transfer of ownership of the hotel property to another party will include the property at 162 Fountain Avenue; and any agreement with a hospitality management company to operate the hotel/restaurant shall include assignment of the property at 162 Fountain Avenue for hotel parking; and that trees will be landscaped in the project using 24-inch boxes. Motion passed.

b. Refining the Permitted Ground Floor Uses on Lighthouse Avenue in Downtown C-D Zoning District

CEQA Status: Categorically Exempt, CEQA Guidelines Sec 15305 (Class 5 - Minor Alterations in Land Use Limitations)

Staff Reference: Mark Brodeur, Director of Community & Economic Development Department

Recommended Action: Forward a recommendation to the City Council to modify Land Use Table 23.31.030 for the C-D Zoning District that restricts/limits some uses on the ground floor on Lighthouse Avenue only.

(Please refer to audio recording for more details.)

Mark Brodeur, Director of Community & Economic Development Department, presented a staff report.

The Chair opened the floor to public comments.

- Paul Bruno spoke against the proposal
- Joe Bellechi spoke against the proposal
- Robert Abbott spoke against the proposal
- Scott Cumming spoke against the proposal

The Chair closed the floor to public comments.

On a motion by Commissioner Byrne, seconded by Commissioner Chakwin, the Commission voted 5-0-2 (Commissioners Bluhm and Murphy absent) to allow making microbreweries a permitted activity in the designated active business zone, and to have selected bars or taverns be a permitted activity in the designated active business zone. Motion passed.

9. Reports of PC Subcommittee

None.

10. Reports of PC Members None.

11. Reports of Council Liaison City

Councilmember Dr. Robert Huit provided an update on the City Council's most recent meeting actions.

12. Staff Announcements None. **13.**

Adjournment at 8:59 p.m.

APPROVED BY PLANNING COMMISSION:

Mark B. Chakwin

7/2/2018

Mark Brice Chakwin, Secretary

Date

Hotel Durrell – comment 4/20/18

Dear Planning Commissioners,

In a previous note I mentioned the Hotel Pacific in Monterey, flanked by historic structures on both sides, as a comparison to Hotel Durrell. The 105 unit hotel is less overwhelming than the proposed Hotel Durrell design we saw in the 4/5/18 meeting partially because it is broken up into a number of smaller buildings, either two or three story in height, and partially because of the lower ratio of guest room density to lot size.

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If Hotel Durrell used the same amount of square feet per guest unit as Hotel Pacific, then the lot size of 33,541 square feet would accommodate 64 guest units. I realize that other factors also contribute to massing and bulk and that hotels have other design shape configuration limitations. As another comparison, the Cypress Inn has 45 guest units and the Pine Inn has 44 guest units, both in downtown Carmel and also built on a street with a grade.

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Janet Cohen

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Submission #191

[Resend e-mails](#)

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 14, 2018 - 1:55 pm

2601:642:c380:c63:4c86:bd09:fd15:e7f

Your Name

Elizabeth Fisher

Your Email Address

erfisher@lmi.net

Subject

Regular Agenda Item 8. a. Address: 157 Grand Avenue (006-175-001)

Message

I appreciate you looking over these comments. I've made an effort to be precise. Please acknowledge receipt of these remarks.

Attach a File

[Hotel Durell, Elizabeth Fisher, May 14, 2018.pdf](#)

[Previous submission](#)

[Next submission](#)

To: Planning Commission, Mark Brodeur, Laura O'Halloran

From: Elizabeth Fisher, Pacific Grove Resident, 429 Lighthouse Ave, Pacific Grove, Ca.

Re: Proposed Hotel Durell, Regular Agenda Item 8.a.
157 Grand Avenue (006-175-001)

Date: May 14, 2018

Many concerns about this project have already been raised. Judging from staff report accompanying this Agenda item, it appears few of these have been addressed.

Major concerns include:

1. The location of the valet parking entrance creates traffic congestion problem on Central. It should be moved to Fountain, thus utilizing the existing intersection (redesigned) instead of creating a new traffic flow across Central, a major street for through traffic.
2. The inadequate setback of the building from Central. The hotel should be fronted by garden space comparable to that of the library and museum.
3. Stepping back the building on **each level** to reduce the impact on the street level. This was the intent of the ARB when making the recommendation that the massing be reduced along Fountain, Grand and Central Avenue.
4. The generic look of the hotel should be changed to one that reflects the important civic buildings and park in this area. For example, a canopy coming out to the street is totally out of character with the setting and the ambience of Pacific Grove.
5. The number of rooms in the building should be reduced significantly. The current design only removes five rooms. This will do little to alleviate the impact of this hotel on the traffic or reduce the massive feel of the building. The developer should be presenting a plan for 90 or less rooms.

This hotel is located in a central area of Pacific Grove. The library is being renovated soon with an eye to integrating a variety of elements while emphasizing the historical elements of the original structure. The PG Natural History Museum has been refurbished considerably as has the landscaping surrounding both of these institutions that define Pacific Grove visually. Jewell Park is a vital green space in this area used for numerous civic events. All this makes parking and traffic safety in this location of paramount concern.

Also, this hotel should be artfully designed and compatible with the attractiveness of our town. To introduce this generic design which is too high and too dense for the area will damage Pacific Grove's unique character which is its primary attraction for both tourists and residents.

For these reasons, this project needs to be re-thought with an eye toward what this community expects and deserves.

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Submission #192

[Resend e-mails](#)

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 14, 2018 - 1:58 pm

2601:642:c380:c63:4c86:bd09:fd15:e7f

Your Name

Robert Fisher

Your Email Address

erfisher@lmi.net

Subject

Regular Agenda Item 8. a. Address: 157 Grand Avenue (006-175-001)

Message

Thanks for your consideration. Please acknowledge receipt of this message.

Attach a File

[Hotel Durell, Robert Fisher, May 14, 2018.pdf](#)

[Previous submission](#)

[Next submission](#)

To: Planning Commission, Mark Brodeur, Laura O'Halloran

From: Robert Fisher, Pacific Grove Resident, 429 Lighthouse Ave., Pacific Grove, Ca.

Re: Proposed Hotel Durell, Regular Agenda Item 8.a.
157 Grand Avenue (006-175-001)

Date: May 14, 2018

Are the new plans for Hotel Durell to be presented at the Planning Commission meeting on May 17, 2018 posted at the site and available for public review? A development this important for the future of the City should be done carefully and comprehensively.

ARB recommended that significant legal problems with the EIR should be evaluated by the City Attorney. If the City Attorney's report is done, is it available for review and comment by the public?

Why were there no polls and netting erected to show the impact of the mass of this building? To say it was too dangerous to do so does not make sense. We heard from several speakers that there are safe ways to erect these. Have these suggestions been investigated by the Planning Department (CEDD)?

This project needs to be thoroughly reworked taking into account and responding to the many legitimate apprehensions that have been raised by knowledgeable residents. With several areas now being considered for development in these downtown and civic areas, PG officials and City staff have the responsibility to take the long view into account. This is an urban planning opportunity rare in these days when past mistakes have destroyed the integrity of so many cityscapes. We can get this right if we follow a full process.

Please take the time to fully investigate this project and take into consideration important concerns that have been raised.

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Submission #193

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 15, 2018 - 8:41 am

2601:642:c301:d2d5:1d42:d2ef:6a9c:a5c0

Your Name

Janet E Cohen

Your Email Address

janetcohen333@comcast.net

Subject

Hotel Durrell

Message

Dear Chair Fredrickson and Planning Commissioners,

Due to health issues I will not be able to attend the meeting May 17th to speak to concerns regarding the proposed Hotel Durrell project. Please still consider though written communication I have previously sent as what I would have said again at the podium.

Thank you,

Janet Cohen

Attach a File

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Submission #194

[Resend e-mails](#)

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 15, 2018 - 8:25 pm

2601:642:c301:504c:404c:4c4c:25d5:bd1c

Your Name

Maureen Mason

Your Email Address

maureen@maureenmason.com

Subject

Item 8A Hotel Durrell

Message

In 1932 on the occasion of Mrs. Lucie A. Chase's 90th birthday, Mrs. Chase presented a gift to the City of Pacific Grove-the Pacific Grove Museum of Natural History. It was built at the civic center of Pacific Grove on Central Ave. between Grand and Fountain where it still stands today (with an annex having been built in 1985).

Several years prior, in 1908, another gift was proffered to the citizens of Pacific Grove. The Carnegie Library is now 110 years old and is sited on the northerly side of Central Ave. between Grand and Fountain Aves. Both of these buildings are built in the Mediterranean Revival Style, popular in this time of California history.

Jewell Park is sited on the northerly side of Central between Forest and Grand Aves. It completes the cultural landscape that defines the heart of Pacific Grove.

And now, we have an opportunity to enhance the gateway into Pacific Grove as the proposed Hotel Durrell comes before you. It will sit on the south side of Central between Fountain and Grand.

After I served for eight years on the City Historic Resources Committee and on several ad-hoc

committees, I learned to ask more questions about contextual relationships of historic buildings.

Let me share a few of my questions about the proposed project Hotel Durrell with you:

- 1) Does this design enhance the civic and cultural landscape into which it will be placed? (I do not believe it does)
- 2) Does this design detract from the historic buildings and setting around it? (Yes, I believe it does)
- 3) Does this design promote the recognition of the relationships around it in a way that encourages pride and identity? (PG General Plan Goal 3 Policy 16) or is this design in conflict with that goal and the institutional properties that surround it? (I believe it is in conflict).

Your answers to these questions may differ from mine and I am respectful of your views. But the prominence of the site and the building upon it will remain a part of the fabric and rhythm of our community for generations to come. I encourage the architect to return with a more sensitive design.

Respectfully yours,
Maureen Mason

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Submission #195

[Resend e-mails](#)

[Previous submission](#)

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 16, 2018 - 7:35 am

2601:642:c302:d862:5111:e250:cff4:fcbb

Your Name

Karen Benzel

Your Email Address

karenbenzelpr@comcast.net

Subject

Nader Agha Hotel - not in favor

Message

Members of the Planning Commission:

In my opinion, downtown Pacific Grove doesn't need a big, ugly hotel like what is proposed by Nader Agha. But most of all, it doesn't need another business that will utilize low paying jobs by people who can't possibly afford to live in Pacific Grove. Where will the workers come from? Where will they live?

Knowing Agha's reputation, what sort of employer and business partner do you think he will be? His sons operate a horse stable in Carmel Valley, Vista Nadura, which was cited by the County for multiple violations, including operating without business licenses, too many horses on the property and running a horse "therapy" business without a license among other violations. Check into Nader Agha's past business dealings and you won't find many people who have dealt with this man who would do it again.

A permanent farmer's market and local foods business would be far more beneficial to Pacific Grove and bring in locals and tourists.

I am also opposed to this project because it doesn't benefit the local community or the other local hotel and motel businesses which are not at full occupancy. One supporter runs a laundry and his self serving comments in favor should be noted as such, self serving.

Sincerely,

Karen Benzel

Attach a File

[Previous submission](#) [Next submission](#)

Jane Haines

601 OCEAN VIEW BOULEVARD, APT. 1 PACIFIC GROVE CA 93950

janchaincs80@gmail.com

Tel 831 375 5913

May 16, 2018

Pacific Grove Planning Commission
300 Fountain Avenue
Pacific Grove, C 93950

Re: May 17 hearing - Durell Hotel

Dear Planning Commission,

It seems to me the developer adequately responded to the Architectural Review Board (ARB) request to reduce massing, at least on Fountain and Grand Avenues. Over a thousand square feet were removed from the fourth floor resulting in set-back of fourth floor rooms along Fountain and Grand. This gives the appearance of a less-massive building. It looks better.

The developer also responded to the ARB request not to reduce parking; there were 97 parking spaces before and there still are 97.

However, the ARB also requested that the City Attorney review my comments. Apparently, that has not occurred, because major California Environmental Quality Act (CEQA) violations remain. Here are a few:

1. **EIR-required transportation mitigations for potentially significant traffic impacts are not proposed for adoption.** The EIR identifies on page 32.4-17 potentially significant project-caused traffic impacts. Under CEQA, the City must adopt feasible mitigation measures to reduce such impacts to insignificance. The EIR recommended the following mitigation measures, but the 5/17/18 agenda report mentions none of them:

MM 3.4.2a - The project applicant shall pay an appropriate fee (fair share), as determined by the City's Public Works Department, to provide funds for the addition of crosswalks at the Grand Avenue/Central Avenue intersection and at the Fountain Avenue/Central Avenue intersection. The crosswalks shall be speed tables (raised crosswalks) with crossing lights embedded in the pavement and a pedestrian-activated push button on each street corner.

MM 3.4.2b - The project applicant shall pay an appropriate fee (fair share), as determined by the City's Public Works Department, to provide funds for the installation of stop signs at the intersection of Central Avenue and Fountain Avenue to make the intersection a four-way stop.

2. **A mitigation monitoring program must be adopted.** CEQA requires adoption of an enforceable mitigation monitoring program when an EIR is certified. Public Resources Code §21081.6 states:

“(a) When making the findings required by paragraph (1) of subdivision (a) of Section 21081 or when adopting a mitigated negative declaration pursuant to paragraph (2) of subdivision (c) of Section 21080, the following requirements shall apply:

- (1) The public agency shall adopt a reporting or monitoring program for the

changes made to the project or conditions of project approval, adopted in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designed to ensure compliance during project implementation. For those changes which have been required or incorporated into the project at the request of a responsible agency or a public agency having jurisdiction by law over natural resources affected by the project, that agency shall, if so requested by the lead agency or a responsible agency, prepare and submit a proposed reporting or monitoring program.

(2) The lead agency shall specify the location and custodian of the documents or other material which constitute the record of proceedings upon which its decision is based.

(b) A public agency shall provide that measures to mitigate or avoid significant effects on the environment are fully enforceable through permit conditions, agreements, or other measures. Conditions of project approval may be set forth in referenced documents which address required mitigation measures or, in the case of the adoption of a plan, policy, regulation, or other public project, by incorporating the mitigation measures into the plan, policy, regulation, or project design.

(c) Prior to the close of the public review period for a draft environmental impact report or mitigated negative declaration, a responsible agency, or a public agency having jurisdiction over natural resources affected by the project, shall either submit to the lead agency complete and detailed performance objectives for mitigation measures which would address the significant effects on the environment identified by the responsible agency or agency having jurisdiction over natural resources affected by the project, or refer the lead agency to appropriate, readily available guidelines or reference documents...”

3. **Required CEQA findings where an EIR identifies potential impacts are missing.** The Hotel Durell EIR identifies potential project-caused impacts, including the transportation impacts described in preceding comment no. 1 plus other impacts. Thus, CEQA requires specified findings before the EIR can be certified. Public Resources Code § 21081 sets forth the necessary findings where an environmental impact report identifies impacts, and it prohibits an agency from carrying out a project for which an EIR has been prepared without making those findings. Such findings are nowhere to be found in the agenda report.
4. **Farmer’s Market, condition no. 6, requires clarification and CEQA review.** Proposed condition of approval no.6 is for the hotel to close one of its two entries into the hotel lobby every Monday between 1 and 8 p.m. during the time of the Farmers Market. This is inconsistent with page 6 of the Agenda Report which states the hotel’s Central Avenue **vehicular access point** will be closed during Market hours of 2-6 p.m. Closing one of two entries to a hotel lobby is entirely different from closing vehicle access to a hotel for 4 hours. The public can’t comment on condition no. 6 until we know what it means. Moreover, the EIR Hexagon Transportation Consultants report never mentions the Farmers Market so it appears the traffic consultants had no knowledge about the Farmers Market issue. Either closing the hotel’s vehicular access point for 4 hours weekly will result in major parking difficulty for hotel guests, or having Farmers Market attendees walk in the street on Central Avenue while hotel guests are trying to drive through them to the hotel access point will be dangerous. Which is it? Whichever it is, it has potentially significant impacts for which CEQA requires requires mitigation. CEQA refers to a situation where the project at issue causes impacts to another project as “cumulative impacts.” Section 15355 of the CEQA Guidelines states the “‘Cumulative impacts’ refers to two or more individual effects which, when considered together, are

considerable or which compound or increase other environmental impacts.” Section §15355 also states:

“(a) The individual effects may be changes resulting from a single project or a number of separate projects.

(b) The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.”

An EIR must analyze cumulative impacts and if found to be potentially significant, a mitigation measure must be adopted to reduce the impact to insignificance. The Hotel Durell EIR analyzed Hotel Durell impacts on the farmers market and proposed mitigating them by moving part of the market to Jewell Park. However the City later realized that would require a permit from the Coastal Commission, so the City now proposes to close a portion of the hotel during farmers market hours, but no CEQA review has occurred to evaluate and mitigate the cumulative impacts caused by that proposal.

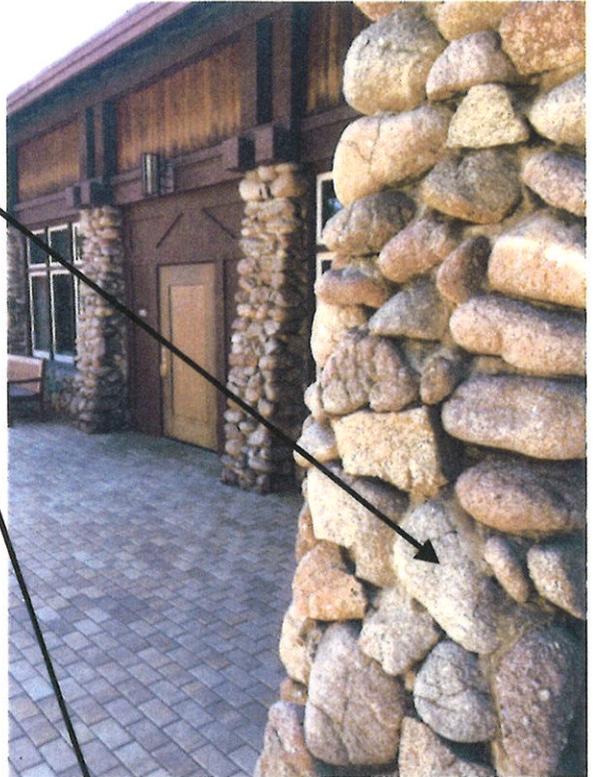
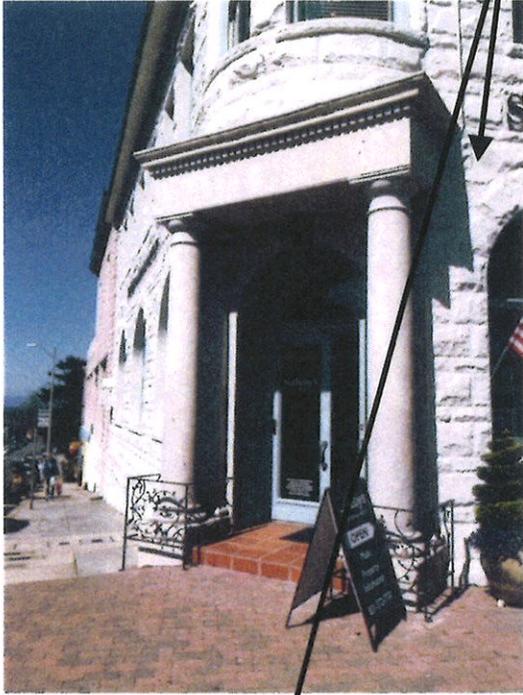
5. **Employee parking, condition no. 8, directly conflicts with the Hexagon Transportation Consultants EIR report.** Hexagon states on pages 22 and 24: “It is recommended that a portion of the 28 off-site spaces be designated for hotel employees.” However, Condition no. 8 states the opposite: “Employee parking will be restricted to the Lighthouse Theatre Municipal Parking Lot. Employees shall not be allowed to park in the hotel parking lot or on nearby streets.” Hexagon did not anticipate that hotel employees would park off-site. Thus, this post-EIR decision requires CEQA analysis to determine potential impacts from requiring hotel employees to park elsewhere other than in the hotel parking lot.
6. **EIR inadequacy.** My previous comments addressed numerous CEQA violations in the EIR, so instead of repeating them, I incorporate them by reference.
7. **Fake stone veneer on Pacific Grove’s main hotel?** Pacific Grove prides itself on its authenticity. It is in Pacific Grove where Julia Morgan incorporated rocks to create Asilomar’s distinguished architecture. Downtown Pacific Grove has authentic masonry buildings, our City Hall has genuine bricks at its base, our Lighthouse Avenue block-end planters are made of genuine rocks. Yet, the entire lower wall of Hotel Durell is planned to be covered with fake stone veneer. I’ll bring a sample of manufactured fake Eldorado stone veneer with me to the April 17 hearing so you can see and feel it for yourselves. For now, you can see a photo of it on the next page.

That sheet of eight manufactured “stones” attached to a backing shown in the photograph, weighs 10 pounds on my bathroom scale. It has a 50-year limited warranty. So what happens after 50 years? I’ve seen fake stone veneer in Monterey, Seaside and Carmel. Does the Pacific Grove Planning Commission want to allow a Pacific Grove downtown hotel to have a manufactured stone veneer at its base? See photos on next two pages.

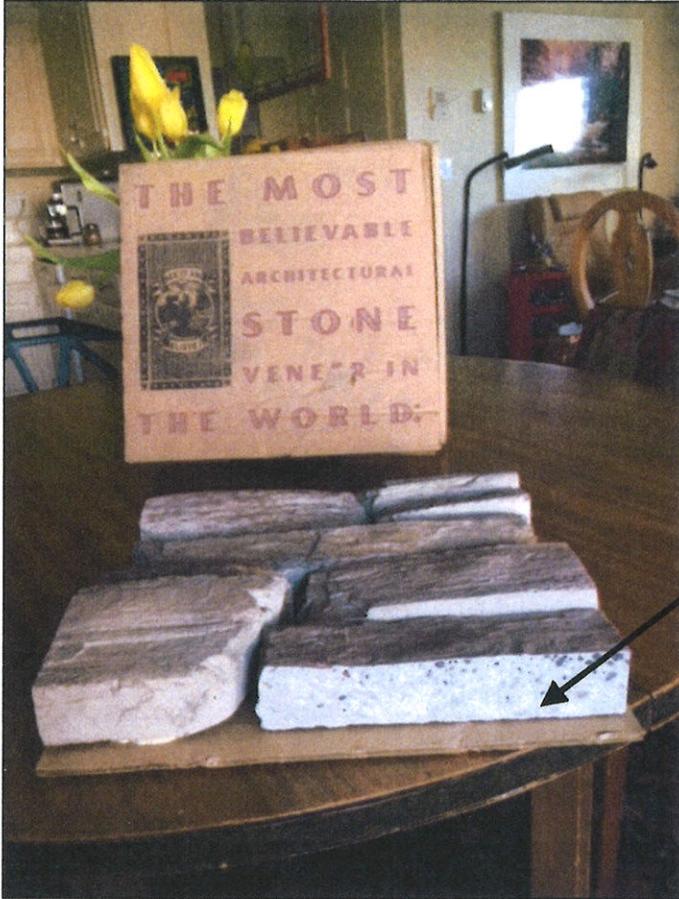
NOTE: Allowing the lower hotel walls to be covered with fake stone veneer would not violate CEQA or any other law I can think of. However, since the Planning Commission is acting as the ARB in the Hotel Durell matter, I believe it’s within your discretion to disallow fake stone veneer if you so choose.

Authentic stone or

Authentic Stone



rock veneer?



Eldorado Stone Veneer



Not To Scale

FIGURE 2.0-6
Architectural Details

*Sincerely,
Jane Hain*

[Home](#) » » [277783](#) » [Submission](#) » Submission #197

Submission #197

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 16, 2018 - 9:01 am

2601:642:c300:9a30:c939:646c:bd03:f353

Your Name

Lisa Ciani

Your Email Address

lisa.ciani@gmail.com

Subject

Hotel Durell, Agenda item 8a

Message

Dear Planning Commissioners,

Please see my attached comments.

Thank you,

Lisa Ciani

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Submission #198

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 16, 2018 - 9:04 am

2601:642:c300:9a30:50b3:c29e:9c2d:adac

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

May 17, 2018 Item 8. Regular Agenda a. Hotel Durell UP/AP # 16-023

Message

Dear Members of the Planning Commission:

I have spent many days re-evaluating the merits of the proposed project and determined that it would result in significant adverse effects to the established neighborhood character, traffic, and parking, and substantially degrade the overall character of the historic commercial district.

See my attached letter, but also please refer back to my previous letters that provide additional important and still relevant information.

Thank you for your consideration of this unique site in the heart of Pacific Grove's cultural center.

Tony Ciani

Attach a File

[PG PC Durell May 17, 2018.pdf](#)

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■ Anthony A. Ciani, Architect

220 Walnut Street

Pacific Grove, California, 93950

May 15, 2018

Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, California 93950

RE: May 17, 2018 Item 8. Regular Agenda a. Hotel Durell UP/AP # 16-023

Dear Planning Commissioners:

The numbers don't work. The architect's "Building Information" data on the applicant's plans, and the "Building Specifications" in the IS/MND have listed the gross floor area for Hotel Durell to be "83,990 SF" since July 2, 2016, almost two years. The January 2017 IS/MND report states: *The proposed project would be approximately 84,000 square feet.* So, why did all of the Staff Agenda Reports for the March Architectural Review Board meeting, and Planning Commission meetings in April, inaccurately list the wrong size? It was clearly printed on the plans to be 83,990 SF, **not** 86,070 SF!

That is literally, non-sense. Rather than provide oversight, the staff reports have reflected the mumbo jumbo numbers for over a year, since at least January 2017. How are we supposed to believe, now, that the numerical size of the floor area has been substantially reduced a total of 3,134 SF? Comparing the project data in the original plans to the current version, one gets: (83,990 SF) – (82,936 SF) = 1,054 SF reduction.

The Staff Report advises:

*Specific General Plan Land Use Policies relevant to the proposed project Chapter 2, Land Use Policy 2: "**Ensure that new development is compatible with adjacent existing development.**"*

Floor area calculations are representative of the building's mass, e.g., Floor Area Ratio, that can be objectively compared to the floor areas of buildings in the surrounding neighborhood. Trustworthy numbers provide a quantitative value to the "**Compatibility**" test to fairly judge new to old relationships, using an objective method. Knowledge of the prevailing height, mass, setbacks and coverage in the established neighborhood are crucial to the understanding of its character that can be objectively analyzed. Other elements such as, the materials, color, shape, and architectural style and details contribute to the subjective side of the compatibility formula.

In my professional judgement, the proposed project fails substantially to pass the compatibility test, and if built would greatly degrade the existing setting and community. I strongly urge you to deny it.

Sincerely,
Tony Ciani, Architect

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Submission #199

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 16, 2018 - 9:04 am

2601:642:c300:9a30:c939:646c:bd03:f353

Your Name

Lisa Ciani

Your Email Address

lisa.ciani@gmail.com

Subject

Hotel Durell, Agenda item 8a

Message

Dear Planning Commissioners,

Somehow my document was not attached on my previous attempt so I'm trying again.

Please see my attached comments.

Thank you,

Lisa Ciani

Attach a File

[PC - Durell 5-17-18.pdf](#)

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May 16, 2018

To: Planning Commission
From: Lisa Ciani
Re: Hotel Durell, Agenda item 8a

- 1) The agenda report fails to describe the details of the changes in this updated design. The City's lack of transparency on top of the lack of story poles to indicate actual height is a great disservice to the community.
- 2) The updated design has not changed notably, and the revised drawings do not indicate that the massing along Fountain, Central, and Grand has been significantly reduced. Reducing the mass on the three street-facing sides requires more than removing a bit off the top, and perhaps adding a few small planting areas if that's the case. The height of the building on long stretches of Grand and Fountain would loom over the pedestrian, and balconies would project out above the sidewalk to make matters worse. The driveway entrance dominates the sidewalk for pedestrians on Central immediately across the street from our historic Library, contributing further to the pedestrian-unfriendly design.
- 3) The updated design still imposes a massive, boxy structure with the appearance of a freeway hotel on our modest-scaled, cultural core. Both the architect and City staff fail to acknowledge the visual character of the surroundings—we have a Historic Context Statement that's being ignored. The architectural style is not compatible with the classic architectural lines and details of the Mission Revival-style Library building or the Spanish/Mediterranean Revival-style Museum building, nor does it complement them. The proposed hotel could be graceful and gracious in this focal location, where the century earlier El Carmelo Hotel was set in spacious landscaped grounds. Instead, the proposed hotel would enjoy a setting with a view of the beautiful historic Library and Museum, Jewell Park, the surrounding historic residential neighborhoods and the sea beyond, while residents and visitors would have a view of an out-of-scale, undistinguished structure bedecked with artificial materials that degrades the iconic center of our community. This is not just a neighborhood—it's our historic community gathering place and cultural center. The impact on the community would be staggering, and the arrival to Pacific Grove along Central Avenue would be dominated by a massive discordant structure.
- 4) Failing to acknowledge its adverse impact on Central Avenue in the central core of the community, the developer has chosen not to move the project's entrance around the corner to a point mid-block on Fountain. As a result, the traffic of the hotel entrance would impact both vehicular and pedestrian traffic on Central across the street from the Library and Jewell Park on a daily basis, and the promised closure of the ingress during Monday Farmers Market hours would create weekly traffic confusion and awkward tension at best.
- 5) Pacific Grove deserves a beautiful, be-gardened hotel that provides a gracious entry to our cultural center and downtown. This design doesn't respect the special character of our City, and it would place us in a category well below the level of accommodations PG deserves. We would be stuck with this unsightly and massive structure for decades. We accept the Holman Building's size because of its long cultural and social history, and it fronts on our main street—that's its context. A new, large building on the Holman block, fronting on our cultural center, needs to earn its place there, not by emulating Holman, but by creating a delightful ambience that enhances our community gathering place. Please do NOT approve the current design. Thank you for considering my comments.

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Submission #200

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 16, 2018 - 4:07 pm

2601:642:c301:d2d5:54a7:af60:6351:8831

Your Name

Janet E Cohen

Your Email Address

janetcohen333@comcast.net

Subject

Hotel Durrell quick summary of two points

Message

Hello Chair Fredrickson, Planning Commissioners and City Staff,

I have attached a summary of two points.

Thank you,

Janet Cohen

Attach a File

[Hotel Durrell quick summary of two points.docx](#)

[Previous submission](#)

[Next submission](#)

Hotel Durrell quick summary of two points:

Hello Chair Fredrickson, Planning Commissioners and City Staff, I explained that I cannot attend the 5/17/18 meeting due to medical issues and to please consider the last comment letter 4/20/18 as if I was speaking from the podium. I just realized it may be easier to send a quick summary of two important points so you don't have to search through your emails:

1. Decreasing the number of guest units:

The main point of the 4/20/18 comment letter is that decreasing the number of guest units in a significant way, solves many problems at once by decreasing massing. It would allow the architect an opportunity to create a more unique hotel design that better fits this particular transition location from downtown to an area that functions as our town gathering place. The grade goes down the hill from Lighthouse. With fewer guest units the building could be stepped down in height from 40 feet to 25 feet as it gets closer to Central and also still maintain a large setback along Central Avenue.

2. Changing the entry from Central to Fountain:

a. In previous communications, the importance of changing the entrance to Fountain instead of Central has been mentioned as a key issue. It will increase pedestrian safety as people cross Central to the library or Jewell Park or vice versa to the hotel or PGMNH.

b. It also will benefit the hotel because people will see the entrance on Fountain visually as they enter Pacific Grove on Central, turn left at the corner of Central and Fountain, then turn right into the hotel valet on Fountain. Changing the entrance will be preventive not only for pedestrian safety, but other traffic issues that would occur by turning left mid block on Central across from the library.

c. Visitors entering from Lighthouse to the hotel would still find an easier entry by turning right on Fountain, left into the hotel valet rather than going around the block. Since Grand Avenue is a one way street the wrong way from Lighthouse, visitors would have to go past Fountain for two blocks on Lighthouse, then turn right on Forest, then turn right on Central and right into the valet entry.

Please ask for a redesign of the hotel to include fewer guest units and to change the entrance from Central to Fountain.

Thank you,

Janet Cohen

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Submission #201

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 16, 2018 - 4:53 pm

2601:642:c300:9a30:d939:e844:d25b:c96e

Your Name

Anthony Ciani

Your Email Address

aciani@cianiarchitecture.com

Subject

May 17, 2018 Item 8. Regular Agenda a. - SUPPLEMENTAL LETTER

Message

Dear Chairman Fredrickson and Members of the Commission,

I am enclosing a supplemental letter regarding this item for your consideration.

Thank You,

Tony Ciani, Architect

Attach a File

[PG PC Durell May 17, 2018.2.pdf](#)

[Previous submission](#)

[Next submission](#)

Anthony A. Ciani, Architect

220 Walnut Street

Pacific Grove, California, 93950

May 16, 2018

Planning Commission
City of Pacific Grove
300 Forest Avenue
Pacific Grove, California 93950

RE: **SUPPLEMENTAL COMMENT** - May 17, 2018 Item 8. Regular Agenda a.
Hotel Durell UP/AP # 16-023

Dear Planning Commissioners:

The large volume of the public input into the Environmental Impact Report, Architectural Review Board and your deliberations provides the community's shared values regarding the proposed project. They form a matrix of the principal factors to consider in order to make the necessary findings according to the policies in the General Plan and California Environmental Quality Act. Despite the preponderance of public opinion specifying the reasons why they oppose this project; the Staff Reports have repeated support for this project at each meeting, with a mantra of unsubstantiated claims or excuses why the project would be good for Pacific Grove.

The applicant received the benefit of the public support to grant special use of this specific site for a hotel use, but he has not responded to the public request to provide the community with a reasonable alternative design in an architectural style compatible with the surrounding civic structures, such as the Public Library and Natural History Museum. The "sense of place" is a key and central issue of the objections to the design, but the applicant has offered no stylist options for the community to consider.

A key to the excessive size of this development is represented by a common planning formula you are familiar with - - Floor Area Ratio (FAR) The maximum FAR permitted in the surrounding commercial zone is 2.0. Hotel Ordinance # 1951 provides you with the discretion to establish the "conditions of approval" including "land area per unit". See excerpt MC 23.33.020, (b) (iii) below:

23.33.020 Uses permitted. The following uses are permitted in the C-1-T district:

(a) Any use permitted in the C-1 districts (Chapter 23.32 of this code) as said district regulations may from time to time be amended by the council.

(b) Hotel use shall be allowed, subject to the following:

(i) Hotel uses shall be subject to first securing a use permit in each case.

(ii) Height limits and yard requirements shall be as set out in Sections 23.32.030 and 23.32.050 of this code.

(iii) All other regulations and conditions of approval shall be as provided by use permit approved pursuant to this title. Said regulations and conditions shall include, without limitation, provisions for architectural review, land area per unit, neighborhood compatibility, landscaping, parking, traffic and accessory buildings.

(iv) Required parking, if any, may be located on or off site, the location to be designated by the use permit.

Anthony A. Ciani, Architect

220 Walnut Street

Pacific Grove, California, 93950

May 16, 2018

Planning Commission

RE: SUPPLEMENTAL COMMENT - May 17, 2018 Item 8. Regular Agenda a.
Hotel Durell UP/AP # 16-023

Page 2

As currently designed the proposed, the **FAR is: 82,936 / 33,785 = 2.45**, which is a solid clue why it appears so massive relative to the existing, established commercial district. The numbers prove what so many Pagrovians have been saying for years, but Staff has not discussed in any of their reports. IT IS SIMPLY TOO BIG!

Many more questions are raised in the public comments; here are a few:

- Why was the alternative for a 90-room hotel as suggested in the EIR not studied?
- Why must the community support a design that projects balconies into the public space looming over pedestrian sidewalks below?
- Why can't the balconies fit within the legal boundaries of the property?
- Why can't the 40-foot wide auto/entry portico that is shown on Central Avenue, fit on the subject property where it is 144 feet wide, fronting on Fountain Avenue?
- And why, can't the entrance to the underground parking be accommodated as part of the Main auto/entry portico instead of requiring a separate entrance, on Central or Fountain Avenues?
- Why can't the new hotel relate to Pacific Grove's authentic sense of place?

The proposed hotel requires a "Use Permit" and an "Architectural Permit" which you have the responsibility and authority to approve, modify or deny based on the evidence in the entire record. I urge you to kindly balance the project's quantity (magnitude), with the weight of a *gold standard for quality*.

Sincerely,

Tony Ciani, Architect

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Submission #202

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Submission information

Form: [Contact the Planning Commission](#)

Submitted by Anonymous (not verified)

May 17, 2018 - 4:05 pm

2605:e000:7fc0:69:4d93:8d68:b153:32a

Your Name

Cosmo Bua

Your Email Address

philemata@gmail.com

Subject

Hotel Durell

Message

Planning Commission,
City of Pacific Grove

Re: Hotel Durell

Dear Commissioners:

Except for Chamber members and others who can see only the money they believe will come from this project's development, almost all residents have been absolutely horrified by almost everything about the Hotel Durell. Objecting strenuously, to say the least, that it will be absurdly too massive and its design completely incompatible with its surroundings. Not only will it not fit into its context neighborhood, but it will be destructive to the entire atmosphere and character of the immediate area. The rare power of the Public Library, the Natural History Museum, and Jewel Park to charm and arouse admiration will all be diminished because of this hugely overbearing object. Parking, traffic, water ... all will produce very unwelcome and detrimental effects which are absurdly denied by nonsense studies.

Serious failures in the project FEIR have not been corrected. Sufficient alternatives have not been evaluated, the most obvious being a significantly smaller alternative. Five fewer rooms doesn't qualify. Ambient noise, traffic, parking, significant aesthetic impacts, modification of the area's visual character and quality, slowing of emergency response, cumulative impacts (at least with the Bella and Holman's condos) haven't been accounted for. Impacts on environmental and recreational resources such as Jewel Park, shoreline parks, and the recreation coastal trail have been ignored.

The landscaping on the project drawings is misleading. Will they be planting mature trees? More likely, trees barely larger than seedlings will be put in. Pagrovia residents visit this immediate area for the library, Natural History Museum, and Jewel Park very regularly. We will be accosted with this gigantic building day in and day out. It will be decades before the new trees appear like those in the drawings, somewhat screening the large hotel.

Rather than creating something which will dismay residents on an almost daily basis for as long as anyone can imagine, the property owner could take the one suggestion made by residents for his property which would practically enshrine him as a town father, a complete reversal of status - to a very great benefactor. If we must accept that this historic building will be destroyed rather than restored, he can replace it with a new one which will become iconic of Pacific Grove. He could contribute to and enhance what is arguably the most important intersection in town. Rather than merely developing his property, he has the power to advance the whole town of Pacific Grove. He could contribute an exquisite boutique hotel, a charming and appropriate design perhaps half or less the size of this project, set well back from Grand, Central and Fountain avenues by large gardens and mature trees, complementing other landscaping in the immediate neighborhood. This is also a rare opportunity for an individual to improve the downtown area environmentally. (One of the City's goals is to increase canopy cover downtown.) Instead of ignoring Pacific Grove's Architectural Guidelines, he could fulfill them completely and create a marvel residents will love and others will come to Pacific Grove to see.

Attach a File

[Previous submission](#) [Next submission](#)



Laurel O'Halloran <lohalloran@cityofpacificgrove.org>

authenticity

JaneHaines80@gmail.com <janehaines80@gmail.com>

Mon, Apr 23, 2018 at 7:51 AM

To: Mark Brodeur <mbrodeur@cityofpacificgrove.org>

Cc: O'Halloran Laurel <lohalloran@cityofpacificgrove.org>, Bill Kampe <bkampe@cityofpacificgrove.org>, Anton Jean <ninerfan@redshift.com>

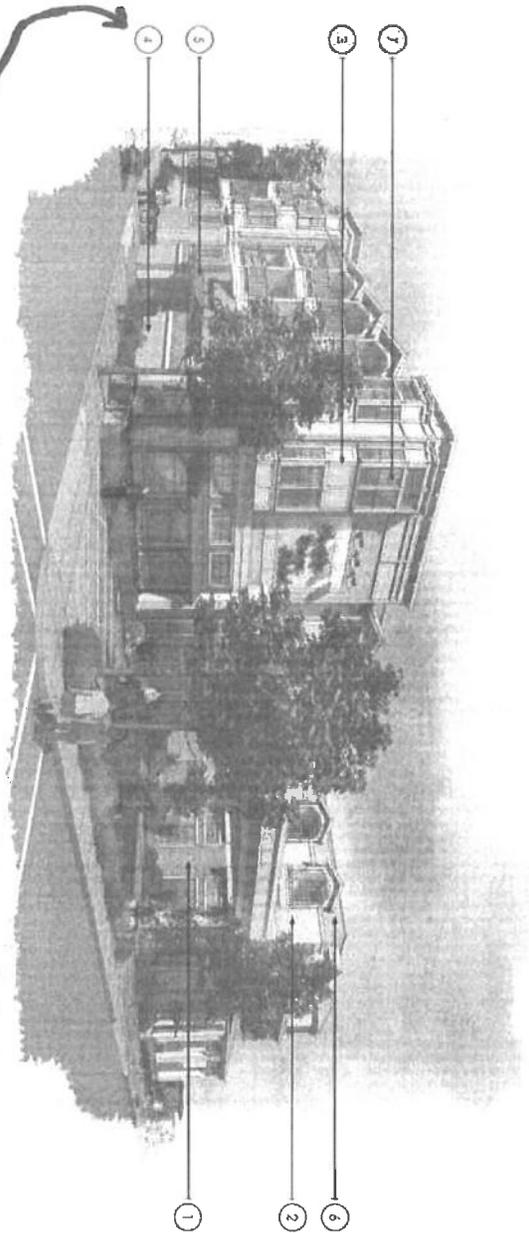
Good morning Mark,

You recently said to me that ***authenticity*** is Pacific Grove's hallmark. Are you aware that the lower exterior wall of the Durell Hotel will be ***fake manufactured stone veneer***? (There's a house with manufactured fake stone on a lamp base near my home. It's gross. At close look, you can see where the veneer ends and the underlying boards begin.)

Fake manufactured stone veneer is inappropriate for a town that prides itself on authenticity. I hope you'll ask the architects to substitute another material.

Sincerely,
Jane

 **Durell.pdf**
233K



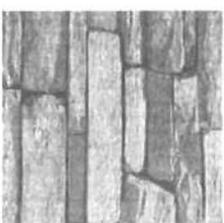
1. HORIZONTAL SIDING:
SHERWIN WILLIAMS PAINT
SVELLE SAGE SW6185



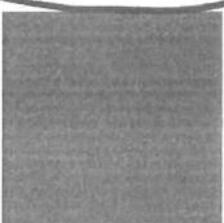
2. HORIZONTAL SIDING:
SHERWIN WILLIAMS PAINT
MUSLIN SW6133



**3. TRIM, FASCIA AND
PANELING:**
SHERWIN WILLIAMS PAINT
PURE WHITE SW7005



4. STONE:
EL DORADO STONE
RUSTIC LEDGE IN PINETOP



5. AWNINGS:
SCARBELLA FABRICS IN COCOA



6. METAL ROOFING:
STANDING SEAM METAL ROOF
AEP SPAN IN PARCHEMENT

7. WINDOW FRAMES:
WHITE ALUMINUM WINDOWS

COLOR MATERIALS



0123-01-C015

DATE: JULY 2, 2015

HOTEL DURRELL - PACIFIC GROVE A.18



Vintage Ranch
4 colors available

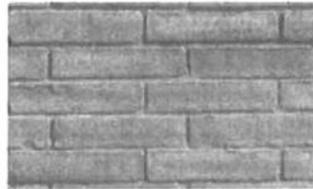


Zen24
2 colors available

AVAILABLE IN THE WESTERN REGION:



CaminoAdobe®
1 color available



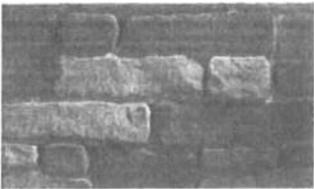
CapistranoAdobe
2 colors available



Coarsed Stone
1 color available



Coastal Ledge
1 color available



Cobblestone
1 color available



Fieldledge®
5 colors available



Hillstone®
3 colors available



Limestone
6 colors available



Mountain Ledge
7 colors available



Rustic Ledge®
6 colors available



Stacked Stone
13 colors available

Contemporary Downtown Building Design

White Paper

Prepared by Mark Brodeur, Director

Community & Economic Development

BACKGROUND

An important consideration in reviewing the design of a new building is to complement the local context of existing buildings. Pacific Grove's downtown is made up of a diverse set of buildings characterized by the architecture of different periods. Together, existing buildings contribute to the built context in which new buildings are developed. Within the downtown, there are localized groups of buildings that share similar design characteristics. (Think of the Victorian Block on the south side of Lighthouse between Fountain and Grand Avenue).

These areas often exhibit a common expression of design themes and/or details that distinguish the local architecture from that found in other parts of Pacific Grove. This common expression of design themes and/or details can be referred to as a "design vocabulary". The design vocabulary of existing contextual buildings offers developers and designers a set of design characteristics to build upon. Design characteristics reflected in an area's design vocabulary include building proportion, scale, rhythm, and construction materials, as well as smaller-scale elements, such as window and/or door styles, color, and roof shape(s). Designers can complement existing buildings through the innovative use of the local design vocabulary

However, the design of a new building need not mimic or imitate the context of existing buildings to be complementary. Steel-framed buildings with large expanses of glass can complement an existing context of masonry-walled buildings with smaller window openings by recognizing and building on the proportion, scale, and orientation of nearby buildings. Designers and developers who propose significantly different building styles and/or materials must be able to prove that the new design builds on and complements the existing design vocabulary, without dominating or retreating from it. The successful incorporation of new qualities into an existing design vocabulary adds to the palette of design characteristics available to future designers and developers.

DIRECTION TO THE HOTEL ARCHITECT 2016

In 2016, the architect and applicant called Community & Economic Development Department asking if they could arrange a conceptual design review of a hotel proposal for the lower Holman site. We

suggested they get on the ARB Agenda under “Conceptual Design Review”. The first design was not particularly well-received by members of the ARB. Comments suggested the architects design was too “southern California Beachy” and that the architects needed to walk around downtown and photograph the character defining details of many prominent structures.

Months later, the architects returned to the ARB with a very different look. I cannot accurately describe the new style of architecture, but it is more of a Victorian appearance, with many Victorian character-defining-elements applied to the original site and floor plans. They illustrate their conformance by including a page of photographs from existing buildings and how parts of their building respond to the design.

The architect clearly followed the ARB advice to “Complement the context of existing buildings by using and adding to the local design vocabulary.” However, was the architect successful in developing a hotel uniquely “Pacific Grove”?

DESIGN SUBJECTIVITY

Visual character is a particularly difficult issue to address in the context of project review, in large part because it is based upon subjective rather than objective criteria (hence the phrase, “beauty is in the eye of the beholder”). Both federal and state courts have struggled with the issue of precisely what questions related to aesthetics are relevant to an analysis of environmental impact. As a practical matter, infill projects are often challenged on the grounds of aesthetics. The Durell project, depending on your point of view, may or may not present a negative impact.

THE BUILDING BLOCKS OF DOWNTOWN DESIGN SOLUTIONS

Each resident may perceive Pacific Grove’s downtown aesthetic character differently, although there are several basic design elements that are commonly recognized by all. Pacific Grove downtowns distinctive character results from **five** essential urban design characteristics. These include;

1. The **variety of architectural styles** resulting in an authentic look and feel versus freezing a historic time and place. We don’t dictate a singular style in Pacific Grove.
2. The zoning code permits **zero setbacks** that require buildings to meet and greet the pedestrian. This requires particular attention to the way the building meets the sidewalk, providing a transition to pedestrian scale and elements that activate the street.
3. The zoning code permits **building height of forty feet** also dictates final design solutions. Many existing buildings in the downtown are not forty feet high, thus any new forty foot proposal is met with some trepidation. We must look back to 1989 to find the most recent building to be built. That building is not 40 feet high.
4. The zoning code permits **100% coverage allowance** is in keeping with the predominance of commercial buildings in downtown. That is the one essential component of our downtowns DNA. Anything less would end up resembling a suburban environment with copious amounts of surface

parking dominating the ground plane. Few recent downtown building proposals have taken full advantage of the 100% coverage limit.

5. **Parcel sizes** vary greatly in the downtown of Pacific Grove. It is our smaller, Lighthouse-fronting parcels that greatly define the rhythm of the soldier row of shops and restaurants. However, the range of lot sizes in the balance of downtown stretches from the smallest lot of 953 sq. ft. to the largest parcel of 37,800 (Theater Parking Lot). City staff ran an analysis of the lot sizes in downtown and the **average lot size is 4,389 square feet**. So, when a development proposal for a hotel on a 33,500 square foot parcel comes before decision-makers and the public, the feeling is that the development is simply too large/bulky/massive. Simply put, new buildings on large parcels will appear too large and out-of-scale while existing smaller scale buildings populate the average lots in the downtown. Building proposals on large parcels may often appear to be out-of-scale with finer parcelization on adjacent blocks.

For context, the Museum sits on a parcel that is approximately 24,000 square feet. The Library is in another Zoning District and sits on a parcel of approximately 20,000 square feet. The Hotel Durrel site is about 30% larger than those two largest parcels in the immediate surroundings. No wonder the comments are “too big” “too massive and bulky”.

NEXT STEPS

There is a number of zoning code amendments that could be brought to bear on downtowns largest lots to reduce apparent bulk and mass. Of the “five building blocks” for downtown buildings that would successfully address this massing issue would be to simply amend the allowable building height in the downtown on parcels over a certain size.

An example would be “limiting the amount of building at 40 feet high to 50% of the upper floor on any parcel over 13,000 square feet”.

Parcels under 13,000 square feet could still build a building forty feet high.